

MUNICIPAL BUILDING, MOBILE, ALABAMA, JUNE 9, 2026

The Council of the City of Mobile, Alabama, met in the City Council’s Conference Room on the ninth floor of the Mobile Government Plaza on Tuesday June 9, 2026, at 9:00 a.m.

Councilmembers:

Present: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Absent: None

The meeting was called to order. The Council reviewed and discussed the agenda for their meeting to be held today at 10:30 a.m.

Ricardo Woods, City Attorney, asked the Council to go into executive session and reconvene at the 10:30 meeting for the purpose of discussing a matter that has potential litigation and an ongoing criminal investigation.

Councilmember Woods moved for the Council to move into executive session and reconvene at the 10:30 meeting, which was seconded by Councilmember Reynolds and the vote was as follows:

Penn: Aye
Ingram: Aye
Small: Aye
Reynolds: Aye
Fleming: Aye
Woods: Aye
Gregory: Aye

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the pre-meeting adjourned into executive session at approximately 9:47 a.m. and to reconvene at the regular meeting as scheduled.

Approved:

COUNCIL PRESIDENT

CITY CLERK

MUNICIPAL BUILDING, MOBILE, ALABAMA, JUNE 9, 2026

The City Council of the City of Mobile, Alabama, met in the Auditorium of the Government Plaza on Tuesday, June 9, 2026, at 10:30 a.m., for the regular meeting.

The meeting was called to order by the City Clerk.

Cory Penn, Councilmember District 1, offered the invocation.

The Presiding Officer led the Pledge of Allegiance.

Present on Roll Call:

Chairman: Small
Vice-Chairman: Gregory
Councilmembers: Penn, Ingram, Reynolds, Fleming, and Woods
Absent: None

STATEMENT OF RULES BY PRESIDING OFFICER

The Presiding Officer provided an overview of the City Council’s Rules of Procedure.

MINUTES OF JUNE 9, 2026

APPROVAL OF MINUTES

The minutes from the meetings of May 26 and June 2, 2026, were approved as submitted.

COMMUNICATIONS FROM THE MAYOR

James Barber, Chief of Operations, offered comments in lieu of Mayor Cheriogotis' absence.

James Barber declared Saturday, June 13, 2026, as "Little Sisters of the Poor Day" in Mobile, Alabama in recognition of their 125th anniversary serving Mobile's low-income senior community.

The following employees were presented as Employee of the Month:

Moynur Rahman, Traffic Engineering, June 2026

Matthew Rowell, Officer of the Month, May 2026

ADOPTION OF THE AGENDA

Councilmember Penn moved to adopt the agenda, which was seconded by Councilmember Ingram

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk whereupon the Presiding Officer declared the agenda adopted.

APPEALS

Request of Devon McKibben for a waiver of the Noise Ordinance at Public Safety Memorial Park on July 11, 2026, from 7:00 p.m. – 10:00 p.m. (District 2).

Councilmember Ingram moved to adopt the waiver, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk whereupon the Presiding Officer declared the waiver adopted.

Request of Caroline Gratton for a waiver of the Noise Ordinance at 610 St. Anthony Street on September 12, 2026, from 10:00 a.m. – 4:00 p.m. (District 2).

Councilmember Ingram moved to adopt the waiver, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk whereupon the Presiding Officer declared the waiver adopted.

Request of Hispanic American Business Association for a waiver of the Noise Ordinance at Mardi Gras Park on October 10, 2026, from 2:00 p.m. – 10:00 p.m. (District 2).

Councilmember Ingram moved to adopt the waiver, which was seconded by Councilmember Woods and the vote was as follows:

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Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk whereupon the Presiding Officer declared the waiver adopted.

Request of Loretta Douglas for a waiver of the Noise Ordinance at 1250 Alba Street on July 4, 2026, from 2:00 p.m. – 10:00 p.m. (District 3).

Councilmember Ingram moved to adopt the waiver, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk whereupon the Presiding Officer declared the waiver adopted.

PUBLIC HEARINGS

PUBLIC HEARING TO CONSIDER THE REZONING OF PROPERTY LOCATED AT THE EAST SIDE OF TACON STREET, NORTH OF CAMERON STREET FROM R-1 TO B-3 (SCHEDULED FOR JUNE 9, 2026) (DISTRICT 1).

The Presiding Officer announced that today was the day for the public hearing to consider the rezoning of property located at the East Side of Tacon Street, North of Cameron Street from R-1 to B3 and asked if there was anyone present to speak for or against this matter.

No one appeared.

The Presiding Officer declared the hearing concluded and that the necessary ordinance authorizing the proper action would be introduced later in the meeting.

PRESENTATION OF PETITIONS AND OTHER COMMUNICATIONS TO THE COUNCIL

NON-AGENDA ITEMS:

Kalenski Adams, 1111 E. I-65 Service Road, provided an update on the progress of Opportunity 4 Entertainers and its various programs.

Margaret Nichols, 13485 N. Wintzell Avenue, Bayou La Batre, requested Window Depot/All Weather Roofing’s business license be revoked due to deception and fraud.

Barbara McCleskey, 1800 Ranch House Drive, requested investigation into revoking Window Depot/All Weather Roofing ‘s business license.

Dakota Bilbrey, 1505 Terrell Road, expressed concerns about Window Depot/All Weather Roofing and requested an investigation into their business license.

Dale Hall, 6427 Grelot Road, concerns about Mobile Police Department assisting ICE enforcement in Mobile.

ORDINANCES HELD OVER

AMEND CHAPTER 11, ARTICL 11, SECTION 11, OF THE MOBILE CITY CODE TO INCLUDE A SUBSECTION TITLED “ALABAMA CONSTRUCTION TRADE ACADEMY FUND FEES.” The following ordinance which was introduced and read at the regular meeting of June 2, 2026 and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

ORDINANCE: 11-024-2026

MINUTES OF JUNE 9, 2026

Sponsored by: Councilmembers Reynolds and Woods

AN ORDINANCE TO AMEND CHAPTER 11, ARTICLE II, SECTION 11, OF THE CITY OF MOBILE MUNICIPAL CODE TO INCLUDE A SUBSECTION ENTITLED "ALABAMA CONSTRUCTION TRADE ACADEMY FUND FEES".

WHEREAS, the City of Mobile recognizes the shortage of skilled trade workers in the residential construction industry; and

WHEREAS, Alabama Act 2025-398 affords municipalities with an opportunity to provide funding derived from specific building permit fees and specific other permit fees to the Alabama Construction Trade Academy Fund established in the State Treasury; and

WHEREAS, Act 2025-398 states, in part, that the Alabama Construction Trade Academy board may award grants to programs recognized by the Alabama Home Builders Foundation as a part of the Alabama Homebuilding Academy Network; and

WHEREAS, the Alabama Home Builders Foundation has submitted a letter addressed to Mobile city council members asserting that every dollar collected within the Mobile jurisdiction will be for the sole use of the South Alabama Homebuilding Academy (SAHA); and

THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MOBILE, ALABAMA, that Chapter 11, Article II, Section 11, of the City of Mobile Municipal Code is hereby amended by the addition of a Subsection entitled "Alabama Construction Trade Academy Fund Fees" and this Subsection shall read as follows:

Pursuant to Alabama Act 2025-398 there is hereby a fee of twenty dollars (\$20.00) levied on every building permit, mechanical permit, plumbing permit, electrical permit or any combination of these permits, and any other permit required for the construction or remodeling of a new or existing residence or structure as defined in Section 34-14A-2, Code of Alabama 1975.

- (1) Section 34-14A-2 defines a residence as a single unit providing complete independent residential living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking, and sanitation.
- (2) Section 34-14A-2 defines a structure as a residence on a single lot, including a site-built home, a condominium, a duplex or multi-unit residential building consisting of not more than four residential units, or any improvement thereto.
- (3) All funds collected by the City pursuant to this subsection shall be remitted to the State Treasury's Alabama Construction Trade Academy Fund in the manner and frequency preferred by the State.
- (4) This subsection shall have an effective date of October 1, 2026.
- (5) Unless otherwise amended, this Subsection and the fees levied pursuant to it shall sunset, completely, effective September 30, 2031.

The ordinance was read by the City Clerk, whereupon Councilmember Woods moved to hold the ordinance over for one week, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the ordinance held over for one week until the regular meeting of June 16, 2026.

AMEND APPENDIX A, DOWNTOWN DEVELOPMENT DISTRICT, OF THE CITY OF MOBILE UNIFIED DEVELOPMENT CODE, CHAPTER 64. The following ordinance

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which was introduced and read at the regular meeting of June 2, 2026 and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

ORDINANCE: 64-025-2026

Sponsored by: Councilmember Ingram

AN ORDINANCE TO AMEND THE CITY OF MOBILE DOWNTOWN DEVELOPMENT DISTRICT REGULATIONS SET FORTH IN APPENDIX A OF THE UNIFIED DEVELOPMENT CODE, CHAPTER 64 OF THE MOBILE CITY CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Downtown Development District regulations set forth in Appendix A of the Unified Development Code, Chapter 64, adopted by the Mobile City Council on July 12, 2022 (Ordinance 64-017-2022), as amended be, and the same hereby is, amended as follows:

SECTION ONE:

A. Section 1. General Provisions, paragraph D.2. is hereby amended so that it now reads in its entirety as follows:

2. Terms used throughout the DDD code shall be interpreted in accordance with the definitions in Section 9.B, Definitions, and definitions in the UDC. The definitions in Section 9.B shall take precedence over other definitions in the UDC. Other terms shall be interpreted using their common meaning.

B. Section 2. Administrative Procedures, paragraph B.1.(c)(1) is hereby amended so that it now reads in its entirety as follows:

(1) The director shall review the application, receive recommendations from other relevant staff such as the city engineer or historic development staff, as applicable, and based on the review and recommendations determine whether the application complies with the standards in the DDD code, including any administrative deviations approved in accordance with subsection (d) below.

C. Section 2. Administrative Procedures, paragraph B.1.(c)(3) is hereby amended so that it now reads in its entirety as follows:

(3) If the director determines that the application does not comply with the standards in the DDD code, the director shall advise the applicant of the aspects of the application that do not comply with standards in the DDD code. The applicant may resubmit plans with revisions or may apply to the Board of Adjustment for a variance with respect to the standards in the DDD code to which the applications does not comply, in accordance with Section 2.B.6, Variance.

D. Section 2. Administrative Procedures, paragraph B.1.(d) is hereby amended so that it now reads in its entirety as follows:

(d) Administrative Deviations

(1) During the administrative review process, the director may approve applications that contain the following minor deviations from the standards in the DDD code, provided the director determinates the deviations are consistent with the purpose of the DDD in Section 1.A, Purpose, and will not cause a significant negative impact on nearby properties and uses:

a. An increase or decrease of no more than 15 percent in the numerical standards that apply to awnings, balconies, canopies, galleries, stoops, terraces, and signs;

b. A decrease of no more than five percentage points in minimum transparency requirements;

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c. Use alternative building materials not listed in Section 7, Building Design and Material Standards, provided the applicant has provided documentation the alternative building materials are considered equivalent or better than the approved building materials in terms of durability (the use of regionally-available materials is preferred); or

d. Request the use of understory trees in lieu of overstory trees for parking lot interior plantings in accordance with Section 5.B.1, Parking Lot Landscaping, to accommodate below-ground or above-ground utilities or dimensional site constraints.

2) Notwithstanding subsection (1) above, the director may not authorize any other deviations from the standards in the DDD code, including the lot size, setback, or building height standards.

E. Section 2. Administrative Procedures, paragraph B.1.(e) is hereby amended so that it now reads in its entirety as follows:

(e) Architectural Review Board Review and Decision (Optional)

For applications involving property in a historic district, following initial review by the director, the application shall be submitted to the Architectural Review Board (ARB) for consideration of a certificate of appropriateness in accordance with Section 44-77 of the City Code. If ARB requires changes to the application as a condition of issuance of a certificate of appropriateness, the application shall be resubmitted to the director for further review in accordance with subsection (c) above.

F. Section 2. Administrative Procedures, paragraph B.1.(f) is hereby added so that it now reads in its entirety as follows:

(f) Re-Review Following Permitting

(1) Following permitting, the director shall review any changes made to the project that may impact the project's compliance with the standards in the DDD code and receive recommendations from other relevant staff such as the city engineer or historic development staff, as applicable.

(2) Based on the review and recommendations, if the director determines that the application as modified following permitting complies with the terms of the DDD code, the director shall notify the applicant, and the applicant may continue with the project.

(3) Based on the director's review and recommendations, if the director determines that the application as modified following permitting does not comply with the standards in the DDD code, the director shall advise the applicant of the aspects of the application that do not comply with standards in the DDD code. The applicant may resubmit plans with revisions or may apply to the Board of Adjustment for a variance with respect to the applicable standards, in accordance with subsection 6 below.

G. Section 3. Zoning Sub-Districts, paragraph A.1. is hereby amended so that it now reads in its entirety as follows:

1. The zoning sub-districts in Table 3.1: Zoning Sub-Districts Established are hereby established:

H. Section 3. Zoning Sub-Districts, paragraph A.1., Table 64-15-3.1 is hereby renamed and amended so that it now reads in its entirety as follows:

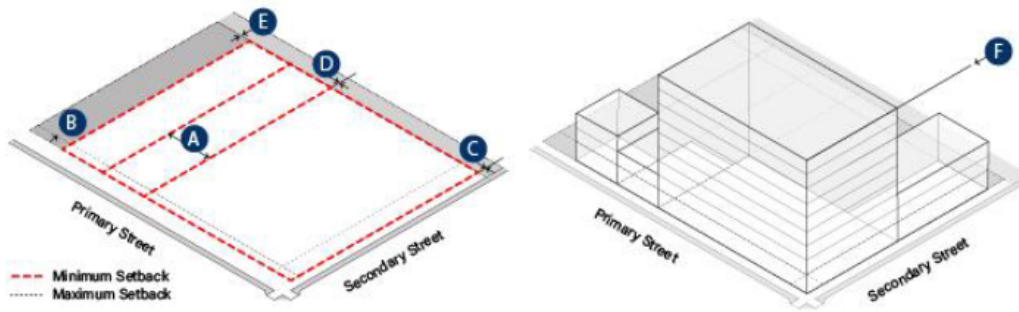
Table 3.1: Zoning Sub-Districts Established	
District	Name
T-6	T-6: Mixed-Use High Intensity Transect
T-5.2	T-5.2: Mixed Use Medium Intensity Transect
T-5.1	T-5.1: Mixed Use Medium Intensity Transect
T-4	T-4: Mixed Use Low Intensity Transect
T-3	T-3: Low Density Residential Transect
Municipal	Municipal district
Open	Open space district
SD-WH	SD-WH: Special District– Warehouse
SD	SD: <i>Special District</i>

I. Section 3. Zoning Sub-Districts, paragraph A is hereby amended to add a new subsection 5 so that it now reads in its entirety as follows:

5. Land within an SD district is required to be rezoned to another zoning sub-district, in accordance with Section 2.B.2, Regulating Plan Amendment, before development may commence on the land.

J. Section 3. Zoning Sub-Districts, paragraph B.2.(e), Table 3.2 is hereby amended so that it now reads in its entirety as follow

Table 3.2: T-6 Dimensional and Intensity Standards



Site features	
Lot area (sf), min	No minimum
Lot width (ft), min max	A 14 No maximum
Building per lot, max	No maximum
Building coverage (% of site), max	No maximum
Setback, primary buildings	
Primary frontage (ft), min max	B 0 10 [2] [3]
Secondary frontage (ft), min max	C 0 12
Side (ft), min	D No minimum
Rear (ft), min	E No minimum
Setback, outbuildings	
Primary frontage (ft)	To rear of the facade at ground floor, unrestricted upper stories
Secondary frontage (ft)	To rear of the facade at ground floor, unrestricted upper stories
Side (ft), min	No minimum
Rear (ft), min	No minimum

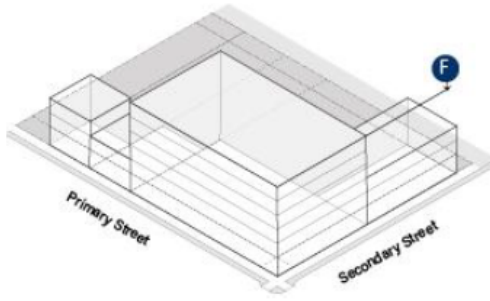
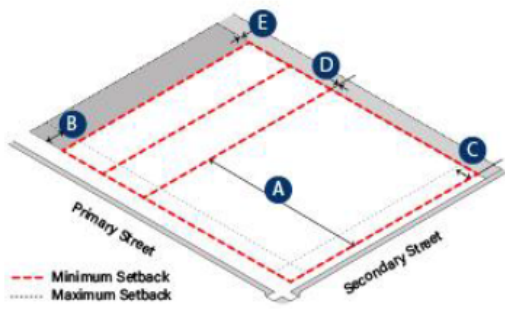
Building Form		
Height, max	F	No maximum [1]
Parking structure		80 feet [4]
Frontage Types ● = Permitted		
Lawn		
Terrace		
Stoop	●	
Common Entry		
Pedestrian forecourt	●	
Vehicular forecourt	●	
Gallery	●	
Shopfront	●	
Transparency	Minimum Required Transparency	Location
Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

[1] The maximum height of outbuildings shall not exceed the height of the principal building.
 [2] The setback may match the setback of an adjacent building along the same street frontage.
 [3] The maximum setback may be increased by 12 feet along Government Street.
 [4] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.

K. Section 3. Zoning Sub-Districts, paragraph B.3.(f) Additional Standards is deleted in its entirety.

L. Section 3. Zoning Sub-Districts, paragraph B.3.(e), Table 3.3 is hereby amended so that it now reads in its entirety as follows:

Table 3.3: T-5.2 Dimensional and Intensity Standards



Site features	
Lot area (sf), min	No minimum
Lot width (ft), min max	A 14 180
Building per lot, max	No maximum
Building coverage (% of site), max	No maximum
Setback, primary buildings	
Primary frontage (ft), min max	B 0 5 [3]
Secondary frontage (ft), min max	C 0 12 [3]
Side (ft), min	D No minimum
Rear (ft), min	E No minimum
Setback, outbuildings	
Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

Building Form	
Height, max	F 5 stories [1]
Fronting Bienville Square	8 stories [1]
Fronting west side of Claiborne St. between Civic Center Dr. and Canal St	16 stories [1]
Parking structure	60 feet [2]

Frontage Types	● = Permitted
Lawn	
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	●
Vehicular forecourt	
Gallery	●
Shopfront	●

Transparency	Minimum Required Transparency	Location
Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

[1] The maximum height of outbuildings shall not exceed the height of the principal building.
 [2] The maximum parking structure height is 80 feet for parking structures that front the west side of Claiborne Street between Civic Center Drive and Canal Street, and 60 feet elsewhere. See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.
 [3] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may be extended an additional 12 feet along Government St.

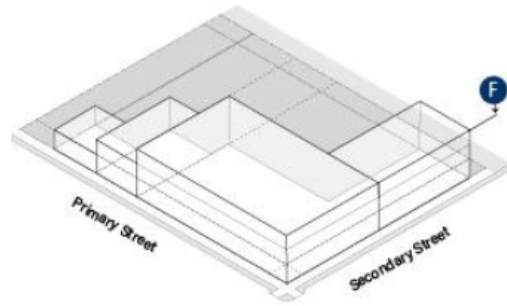
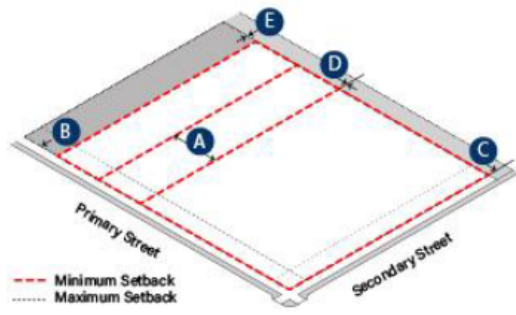
M. Section 3. Zoning Sub-Districts, paragraph B.4.(a) is hereby amended so that it now reads in its entirety as follows:

(a) Generally

The T-5.1 sub-district regulations are designed to support mixed-use development at medium-low intensity, with a walkable urban form and a mixture of residential and commercial uses.

N. Section 3. Zoning Sub-Districts, paragraph B.4.(e), Table 3.4 is hereby amended so that it now reads in its entirety as follows:

Table 3.4: T-5.1 Dimensional and Intensity Standards



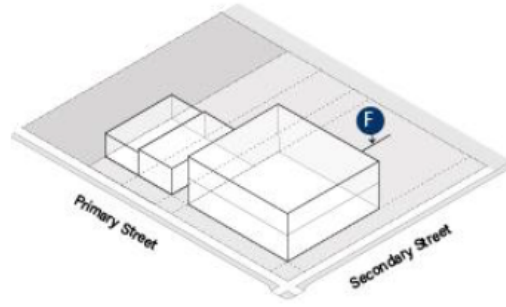
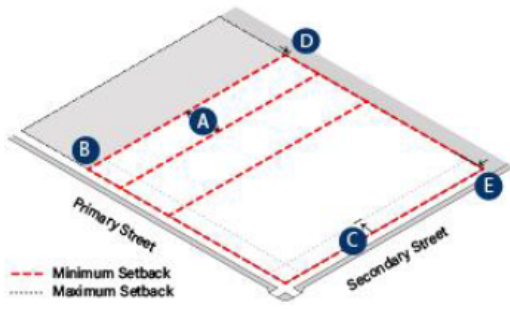
Site features	
Lot area (sf), min	No minimum
Lot width (ft), min max	A 14 180
Building per lot, max	No maximum
Building coverage (% of site), max	No maximum
Setback, primary buildings	
Primary frontage (ft), min max	B 0 12 [2]
Secondary frontage (ft), min max	C 0 12 [2]
Side (ft), min	D No minimum
Rear (ft), min	E No minimum
Setback, outbuildings	
Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

[1] The maximum height of outbuildings shall not exceed the height of the principal building.
 [2] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.
 [3] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.

Building Form		
Height, max	F	3 stories [1]
Parking structure		34 feet [3]
Frontage Types ● = Permitted		
Lawn		
Terrace	●	
Stoop	●	
Common Entry	●	
Pedestrian forecourt	●	
Vehicular forecourt		
Gallery	●	
Shopfront	●	
Transparency	Minimum Required Transparency	Location
Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

O. Section 3. Zoning Sub-Districts, paragraph B.5.(e), Table 3.5 is hereby amended so that it now reads in its entirety as follows:

Table 3.5: T-4 Dimensional and Intensity Standards



Site features	
Lot area (sf), min	No minimum
Lot width (ft), min max	A 18 120
Building per lot, max	3
Building coverage (% of site), max	75
Setback, primary buildings	
Primary frontage (ft), min max	B 0 12 [2]
Secondary frontage (ft), min max	C 0 12 [2]
Side (ft), min	D No minimum
Rear (ft), min	E No minimum
Setback, outbuildings	
Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

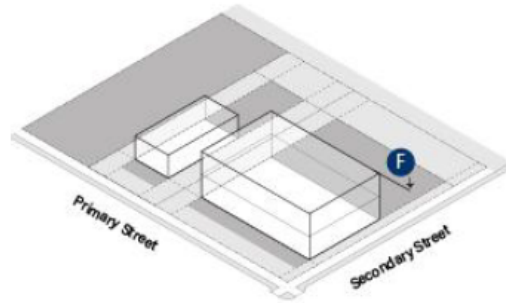
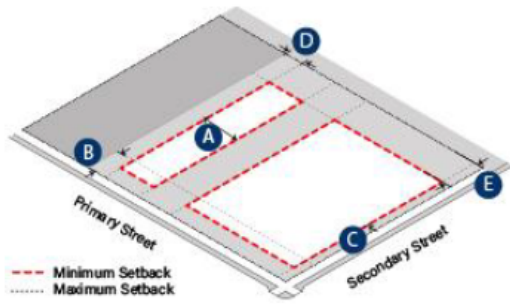
Building Form	
Height, max	F 2 stories [1]
Frontage Types ● = Permitted	
Lawn	●
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	
Vehicular forecourt	
Gallery	
Shopfront	●
Transparency	
Minimum Required Transparency	Location
All building facades facing the street	20% Per floor
Shopfronts – Ground Floor	50% Calculated separately for each frontage

[1] The maximum height of outbuildings is two stories.

[2] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.

P. Section 3. Zoning Sub-Districts, paragraph B.6.(e), Table 3.6 is hereby amended so that it now reads in its entirety as follows:

Table 3.6: T-3 Dimensional and Intensity Standards



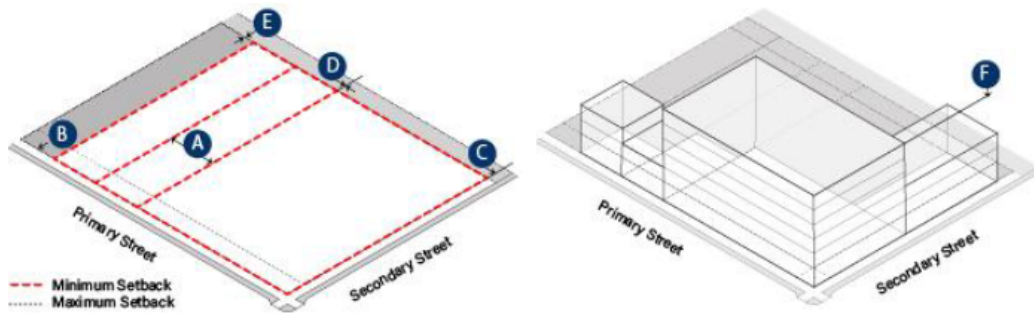
Site features	
Lot area (sf), min	No minimum
Lot width (ft), min max	A 40 120
Along the east side of Lawrence St. between Civic Center Dr. and Canal St	30 120
Building per lot, max	2
Building coverage (% of site), max	75
Setback, primary buildings	
Primary frontage (ft), min max	B 10 18 [1] [3]
Secondary frontage (ft), min max	C 5 No maximum [3]
Side (ft), min	D 10 [3]
Rear (ft), min	E 20 [3]
Setback, outbuildings	
Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

Building Form		
Height, max	F	2 stories [2]
Along the east side of Lawrence St. between Civic Center Dr. and Canal St		3 stories [2]
Frontage Types ● = Permitted		
Lawn	●	
Terrace	●	
Stoop		
Common Entry		
Pedestrian forecourt		
Vehicular forecourt		
Gallery		
Transparency		
All building facades facing the street	Minimum Required Transparency	Location
	20%	Per floor

[1] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.
 [2] The maximum height of outbuildings is two stories.
 [3] Along the east side of Lawrence Street between Canal Street and Civic Center, Drive, the primary frontage and secondary frontage setbacks shall not exceed 12 feet, and the side and rear setback minimums do not apply provided fire rating requirements are met.

Q. Section 3. Zoning Sub-Districts, paragraph C.3.(e), Table 3.9 is hereby amended so that it now reads in its entirety as follows:

Table 3.9: SD-WH District Dimensional and Intensity Standards



Site features		
Lot area (sf), min		None
Lot width (ft), min max	A	None
Building per lot, max		None
Building coverage (% of site), max		No max
Setback, primary buildings		
Primary frontage (ft), min max	B	0 10 [1]
Secondary frontage (ft), min max	C	None
Side (ft), min	D	None
Rear (ft), min	E	None
Setback, outbuildings		
Primary frontage (ft), min		None
Secondary frontage (ft), min		None
Side (ft), min		None
Rear (ft), min		None

Building Form		
Height, max	F	6 stories
Parking structure		60 feet [2]

Frontage Types	● = Permitted
Lawn	●
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	●
Vehicular forecourt	●
Gallery	
Shopfront	●

Transparency	Minimum Required Transparency	Location
All building facades facing the street [3]	20%	Per floor

[1] The maximum setback may extend an additional 12 feet along Government St.
 [2] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.
 [3] Transparency requirement does not apply to buildings fronting Beauregard Street between Saint Joseph Street, North Water Street and North Lawrence Street

R. Section 5. Development Standards, paragraph A.2.(d) is hereby amended so that it now reads in its entirety as follows:

(d) Surface parking lots shall be placed to the rear of the façade of the principal building, except in Municipal, Open, and SD-WH sub-districts, where the location is not restricted.

S. Section 5. Development Standards, paragraph A.2.(e) is hereby added so that it now reads in its entirety as follows:

(e) Parking lots and structures shall be masked along frontages in accordance with Section 5. B.1(a), Perimeter Masking.

T. Section 5. Development Standards, paragraph A.3.(a) is hereby amended so that it now reads in its entirety as follows:

(a) Off-street parking shall only be accessed from a secondary frontage, or B-street, and is prohibited to be accessed from the primary frontage, or A-street, except as provided below.

U. Section 5. Development Standards, paragraph A.3.(d) is hereby amended so that it now reads in its entirety as follows:

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(d) All curb cuts shall meet the standards in Chapter 57, Article IV, Driveways, of the City Code. The number of curb cuts for a lot shall not exceed the maximum number by sub-district in Table 5.2.

V. Section 5. Development Standards, paragraph A.3.(e), Table 5.2 is hereby amended so that it now reads in its entirety as follows:

Table 5.2: Parking Lot Specifications			
District	Minimum Primary Frontage Parking Access Width (ft)	Maximum Driveway Width (ft)	Maximum Number of Curb Cuts Per Frontage
T-6	72	25 [1]	1 [1]
T-5.2	54	25 [1]	1 [1]
T-5.1	54	25 [1]	1 [1]
T-4	42	10	1
T-3	42	10	1
SD-WH	54	25 [1]	1 [1]
Municipal	No minimum	No maximum	No maximum
Open	No minimum	No maximum	No maximum
[1] On the west side of Claiborne Street between Civic Center Drive and Canal Street, driveway width shall not exceed 36 feet, and two curb cuts are permitted per lot. [2] Except as permitted in table note [1], a lot with one primary frontage and one secondary frontage is allowed one curb cut to the secondary frontage. A lot with more than one secondary frontage is permitted one curb cut per secondary frontage.			

W. Section 5. Development Standards, paragraph A.4. is hereby amended so that it now reads in its entirety as follows:

4. Off-Street Loading Docks and Service Areas

Off-street loading docks and service areas with a combined width of 30 feet may be incorporated into all frontages on land in the SD-WH sub-district, and in all other sub-districts in accordance with the following:

- (a) In secondary frontages, towards the rear of the property; or
- (b) In primary frontages, if the property has no secondary frontage and the width of the primary frontage is 120 feet or greater.

X. Section 5. Development Standards, paragraph B.1.(a) is hereby amended so that it now reads in its entirety as follows:

(a) Perimeter Masking

(1) A surface parking lot along a frontage shall be masked by one of the following:

- a. A liner building; or
- b. One of the following types of screens:
 - 1. A metal fence at least three feet in height that is planted with evergreen hedges, evergreen vines, or other evergreen plant materials. Shrubs for hedges shall be at least three feet in height at planting, and other plantings shall be of a species and planted in a manner that would form an evergreen barrier at least as effective as a hedge; or
 - 2. A masonry wall, with or without vegetative plantings.

(2) A parking structure along a frontage shall be masked by one of the following:

- a. Along A-street frontages, a liner building covering the entire width of the structure, excluding any points of access or egress, or 70 percent of a width of the structure at ground floor frontage.

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b. Along B-street frontages, a liner building in accordance with subsection a above, or one of the following types of screens:

1. A metal fence at least three feet in height that is planted with evergreen hedges, evergreen vines, or other evergreen plant materials. Shrubs for hedges shall be at least three feet in height at planting, and other plantings shall be of a species and planted in a manner that would form an evergreen barrier at least as effective as a hedge; or
2. A masonry wall, with or without vegetative plantings.

Y. Section 5. Development Standards, paragraph B.2.(c) is hereby added so that it now reads in its entirety as follows:

(c) Rooftop Equipment

Equipment on rooftops such as turbine vents, skylights, satellite dishes, and television antennae shall be located and arranged so as not to be visible from a street or sidewalk.

Z. Section 5. Development Standards, paragraph C.2.(a)(1) is hereby amended so that it now reads in its entirety as follows:

(1) Fences shall be made of wood picket, wood slat, or wood lattice, or a wrought iron style made of iron, steel, or aluminum.

AA. Section 5. Development Standards, paragraph D.5. is hereby amended so that it now reads in its entirety as follows:

5. Permitted Signs

Signs are permitted on land in a sub-district in accordance with Table 5.3: Sign Types Permitted by Sub-District, subject to the standards in Table 5.4: Permitted Signs and subsection 6 below. See also Figure 5.1: Sign Standard Illustration.

BB. Section 5. Development Standards, paragraph D.5., Table 5.4 is hereby amended so that it now reads in its entirety as follows:

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Table 5.4: Permitted Signs			
Sign Type	Number	Area, Maximum	Copy
Sandwich board	1 per business, shall be removed outside of business hours	2 feet wide by 3 feet tall	No restrictions
Diagonal corner	1 per building at corners only, attached at a 45-degree angle	3 feet wide by 15 feet tall	No restrictions
Fabric awning	1 per awning	8 inches tall by awning length	No restrictions
Marquee	1 per building	4 feet plus width of entrance(s) on primary structure, maximum height of marquee structure is 4 feet	No restrictions
Window sign	1 per window (not including temporary signage within window)	30% of window area to which sign is affixed	Applied decal or painted within window
Building	On buildings less than 10 stories in height, 1 per building, within the frieze or upper portion of the storefront if there is no frieze	3 feet in height by façade width (8 feet in height on buildings fronting Claiborne Street between Civic Center Drive and Canal Street)	No restrictions
Upper building	See Section 5.D.6(c), Upper Building		
Hanging blade	1 per business	10 square feet each face	No restrictions
Individual storefront	1 per business	2 feet tall by store length (or to fit within a frieze or architectural feature)	No restrictions
Internal neon	1 per window (not including temporary signage within window)	30% of window area to which sign is affixed	Neon or LED within window
Painted wall	1 per secondary frontage and wall internal to a lot but visible from sidewalks	No restrictions	No restrictions
Yard blade	1 per lot with home business or in non-residential use	5 square feet	No restrictions
Wall plaque	1 per business (located on building) 1 per parking lot (located on an architectural feature of parking lot screening required in Section 5.B.1(a))	<i>SD-WH, Municipal, and Open: 8 square feet</i> T-3: 2 square feet T-4: 2 square feet T-5: 8 square feet T-6: 8 square feet	No restrictions
Wayfinding sign	1 per block or site, located on right-of-way or private property	5 feet in height 20 square feet of signage per face 50 square feet of signage on all faces	No restrictions
Monument sign	1 per site	6 feet in height 8 feet in width 25 square feet of signage per face 50 square feet of signage on all faces	No restrictions
Freestanding sign	1 per site	8 feet in height 5 feet in width 20 square feet of signage per face 40 square feet of signage on all faces	No restrictions
Banner	1 per site	4 feet by 8 feet	No restrictions
Parking lot sign	1 per driveway	10 feet in height (including mount) 3 feet wide by 2 feet high in sign area 6 square feet of signage	No restrictions

CC. Section 5. Development Standards, paragraph D.5. is hereby amended with the addition of the graphic of Figure 5.1: Sign Standard Illustration so that it now reads in its entirety as follows:

Figure 5.1: Sign Standard Illustration

SIGNAGE STANDARDS



DD. Section 6. Frontage Standards, paragraph B.3. is hereby amended so that it now reads in its entirety as follows:

3. If buildings have multiple frontages or multiple buildings are located on one property, the same frontage type shall be selected for all frontages.

EE. Section 6. Frontage Standards, paragraph B., Table 6.2 is hereby amended so that it now reads in its entirety as follows:

Table 6.2: Building Frontage Types Allowed							
Frontage Types	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH
Lawn			•	•	•	•	•
Terrace		•	•	•	•	•	•
Stoop	•	•	•		•	•	•
Common Entry		•	•		•	•	•
Pedestrian forecourt	•	•			•	•	•
Vehicular forecourt	•				•	•	•
Gallery	•	•			•	•	
Shopfront	•	•	•		•	•	•

• = Permitted

FF. Section 6. Frontage Standards, paragraph E.2.(c), Table 6.5 is hereby amended so that it now reads in its entirety as follows:

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Table 6.5: Additions to Existing Buildings in T-5 Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of four feet and with or without masonry piers. Wood fences prohibited in T-5.2 sub-district
Walkways	One per building entrance with a maximum width of five feet, <i>except if a stoop frontage or common entry frontage is provided in accordance with Section 6.H, Stoop Frontage Type, or Section 6.I, Common Entry Frontage Type, respectively</i>
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 600 square feet.
Shopfront	Permitted
Gallery	Permitted

GG. Section 6. Frontage Standards, paragraph E.2.(d), Table 6.6 is hereby amended so that it now reads in its entirety as follows:

Table 6.6: Additions to Existing Buildings in T-6 Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of four feet and with or without masonry piers. Wood fences prohibited
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	Permitted

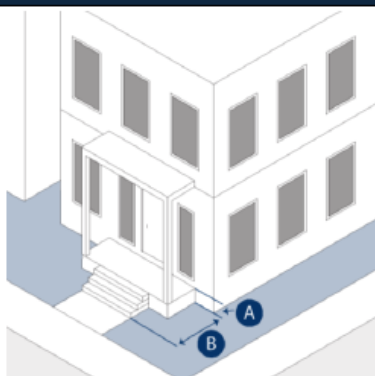
HH. Section 6. Frontage Standards, paragraph E.2.(e), Table 6.7 is hereby amended so that it now reads in its entirety as follows:

Table 6.7: Additions to Existing Buildings in Municipal and Open Sub-Districts	
Standard	Value
Finished floor elevation	Match existing structure, up to 30 inches above average grade along the front property line, or as required to meet minimum flood elevation requirements.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of ten feet and with or without masonry piers.
Paving	Frontage may be paved up to 100 percent of area, using unit masonry, concrete, asphalt, or aggregate
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	Permitted

II. Section 6. Frontage Standards, paragraph E.2.(f), Table 6.8 is hereby amended so that it now reads in its entirety as follows:

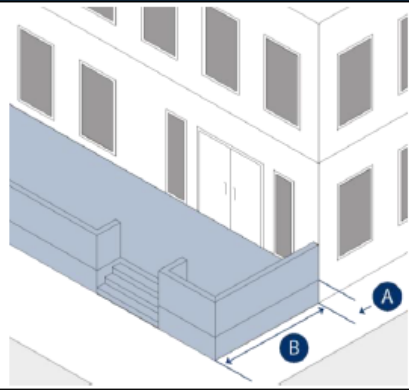
Table 6.8: Additions to Existing Buildings in SD-WH Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Iron fence permitted along front property line and side lot lines to façade of building, with maximum height of six feet and with or without masonry piers.
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	Prohibited

JJ. Section 6. Frontage Standards, paragraph F.2.(f), Table 6.9 is hereby amended so that it now reads in its entirety as follows:

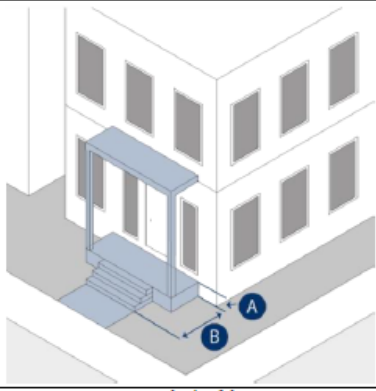
Table 6.9: Lawn Frontage Type Standards								
Site features	Applicable Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open		SD-WH
Finished floor elevation, first floor (min max)	A		•	•			•	16 in 48 in (measured from average grade at property line) As required to comply with flood elevation requirements
Encroachment depth (max)								
Porches, stairs, ramps	B			•				50 percent of front setback depth, min porch depth of 8 ft 100 percent of front setback depth, min porch depth of 4 ft
Bay windows, roof overhangs, cornices, windows and door surrounds, other façade decorations	B		•	•	•	•	•	2 ft
Stoops	B		•	•	•	•	•	4 ft (may be covered by a roof structure supported by columns or wall brackets)
Fences and Walls								
Front property line and side lot lines to façade of building, max height			•	•	•	•	•	4 ft
Along side and rear property lines behind front façade, max height			•	•				8 ft 10 ft
Permitted materials			•	•			•	Fences: wood picket, wood slat, wood lattice, or wrought iron style made of iron, steel or aluminum. Walls: brick, stone or stucco over masonry All materials permitted
Frontage								
Walkways			•	•			•	One per frontage, max width 5 ft Unlimited number and width
Building foundations			•	•			•	Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill No limitations

KK. Section 6. Frontage Standards, paragraph G.2.(f), Table 6.10 is hereby amended so that it now reads in its entirety as follows:

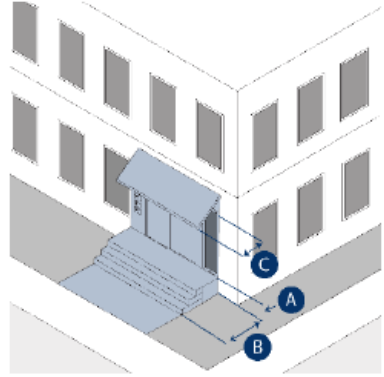
Table 6.10: Terrace Frontage Type Standards								
Site features	Sub-districts							Standards
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A	•	•	•			•	20 in 36 in (measured from average grade at property line) As required to comply with flood elevation requirements
Terrace standards								
Elevation (min max)	A	•	•	•	•	•	•	20 in 36 in
Required encroachment		•	•	•	•	•	•	100 percent of width of façade, at primary frontage, except where driveways are permitted
Depth (max)	B	•	•	•	•	•	•	8 ft (may extend to front property line)
Surfacing		•				•	•	Paved or unpaved, with unit masonry or concrete Paved or landscaped
Fences and Walls								
Where allowed		•	•	•	•	•	•	Only where necessary as part of terrace structure or to provide a safety railing
Materials		•	•	•			•	Fences: <i>Wrought iron style made of iron, steel or aluminum.</i> Walls: <i>brick, stone or stucco over masonry</i> All materials permitted
Awnings								
Material and Type		•	•	•	•	•	•	Fabric, fixed or movable
Primary frontage, span	Ground floor	•	•	•	•	•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•	•	•	•	•	•	Shall cover only a window/door and match width of window/door
Primary frontage, projection		•	•	•	•	•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Secondary frontages		•	•	•	•	•	•	Permitted only over doors, max 6 feet projection
Clearance		•	•	•	•	•	•	Min 8 ft over sidewalk or terrace, set back at least 2 ft from curb
Frontage								
Walkways			•					One per secondary entrance, max width 5 ft
Building foundations		•	•	•			•	Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill
						•	•	No limitations



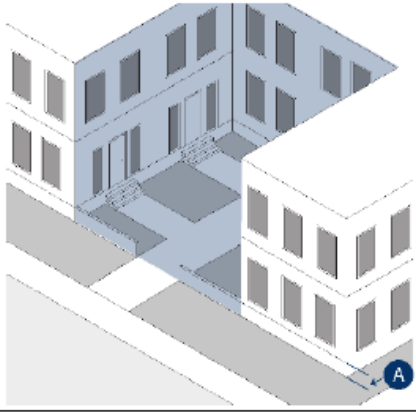
LL. Section 6. Frontage Standards, paragraph H.2.(f), Table 6.11 is hereby amended so that it now reads in its entirety as follows:

Table 6.11: Stoop Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A	•	•	•			•	20 in 36 in (measured from average grade at property line) As required to comply with flood elevation requirements
Stoop standards								
Stoop required		•	•	•		•	•	Stoop is required to be provided at the primary entrance. Stoops at secondary entrances may be provided
Elevation (min max)	A	•	•	•		•	•	20 in 36 in above sidewalk grade
Depth (min max)	B	•	•	•		•	•	4 ft 6 ft
Encroachment, Stoop		•	•	•		•	•	Stoop encroach into front setback at principal entrance or be recessed into the building façade
Encroachment, Steps								Steps that provide access to porch or stoop may encroach up to property line
Coverage		•	•	•		•	•	Optional roof structure supported by columns or wall brackets
Fences and Walls								
General Standards				•				Iron fence with or without masonry piers at front property line is permitted
Walkways								
Walkways				•				One permitted per entrance, with a maximum width of 5 ft
Frontage								
Surfacing		•	•	•		•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete

MM. Section 6. Frontage Standards, paragraph I.2.(f), Table 6.12 is hereby amended so that it now reads in its entirety as follows:

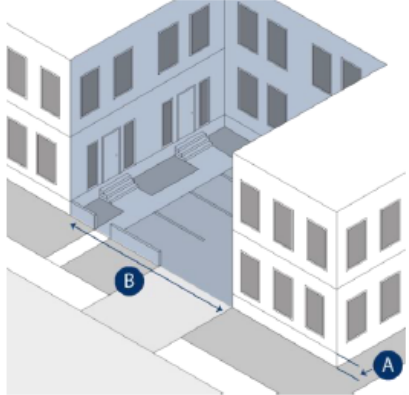
Table 6.12: Common Entry Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A	•	•				•	n/a 30 in (measured from average grade along the facade) As required to comply with flood elevation requirements
Encroachment depth (max)								
Stairs	B	•	•			•	•	May encroach up to property line
Fences and Walls								
General Standards			•					Fence made of iron, steel, or aluminum that appears to be iron, with or without masonry piers, at front property line is permitted
Awnings								
Material and Type		•	•		•	•	•	Fabric, fixed or movable
Primary frontage, span	Ground floor		•	•		•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors		•	•		•	•	Shall cover only a window/door and match width of window/door
Primary frontage, projection	C		•	•		•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Secondary frontages			•	•		•	•	Permitted only over doors, max 6 feet projection
Clearance			•	•		•	•	Min 8 ft over sidewalk or terrace, set back at least 2 ft from curb
Walkways			•					One permitted per entrance, with a maximum width of 5 ft
Frontage								
Surfacing			•	•		•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete

NN. Section 6. Frontage Standards, paragraph J.2.(f), Table 6.13 is hereby amended so that it now reads in its entirety as follows:

Table 6.13: Pedestrian Forecourt Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open		SD-WH
Finished floor elevation, first floor (min max)	A	•	•			•	•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Entry courtyard								
Location		•	•			•	•	Principal entrance
Area, max		•	•			•	•	600 sq ft
						•	•	1,600 sq ft
Design		•	•			•	•	Bound by building facades on at least two sides
Build out		•	•			•	•	The width of the entry courtyard shall count towards frontage build out (see Section 6.C.1 above)
Awnings and canopies								
Material and Type	Awning	•	•			•	•	Fabric, fixed or movable
	Canopy	•	•			•	•	Fixed, metal or wood
Awnings and canopies, primary frontage, span	Ground floor	•	•			•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•	•			•	•	Shall cover only a window/door and match width of window/door
Awnings and canopies, primary frontage, projection		•	•			•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Awnings and canopies, secondary frontages		•	•			•	•	Permitted only over doors, max 6 feet projection
Awnings and canopies, setback		•	•			•	•	Set back at least 2 ft from curb
Clearance		•	•			•	•	Min 8 ft over sidewalk

OO. Section 6. Frontage Standards, paragraph K.2.(f), Table 6.14 is hereby amended so that it now reads in its entirety as follows:

Table 6.14: Vehicular Forecourt Frontage Type Standards								
Site features	Sub-districts						Notes	
	T-6	T-5 (both)	T-4	T-3	Municipal	Open		SD-WH
Finished floor elevation, first floor (max)	A	•					•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Entry courtyard								
Location		•					• • •	Principal entrance
Area, max		•					• • •	1,600 sq ft
Width, max	B	•					• • •	50% of width of facade
Design		•					• • •	Bound by building facades on at least two sides
Surfacing		•					• • •	Paved or unpaved, with unit masonry or concrete
Build out								The width of the entry courtyard shall count towards frontage build out (see Section 6.C.1 above)
Awnings and canopies								
Material and type	Awning	•					• • •	Fabric, fixed or movable
	Canopy							Fixed, metal or wood
Awnings, primary frontage, span	Ground floor	•					• • •	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•					• • •	Shall cover only a window/door and match width of window/door
Awnings, primary frontage, projection		•					• • •	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft <i>Awnings on vehicular forecourt frontages may extend 12 feet except where installed as a porte-cochere in which case the maximum depth is 30 feet.</i>
Awnings, secondary frontages		•					• • •	Permitted only over doors, max 6 feet projection
Awnings, setback		•					• • •	Set back at least 2 ft from curb
Clearance		•					• • •	Min 8 ft over sidewalk

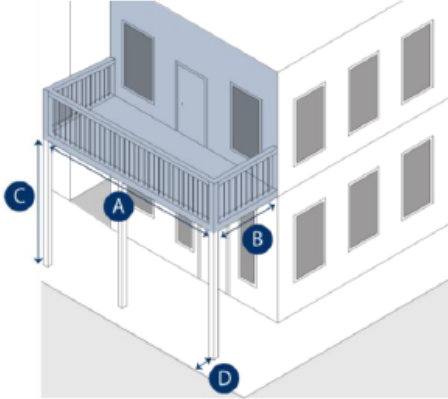


PP. Section 6. Frontage Standards, paragraph L.2. is hereby amended so that it now reads in its entirety as follows:

2. Standards

Development using a gallery frontage type shall comply with the standards in Table 6.15: Gallery Frontage Type Standards. A gallery frontage may include all elements of a shopfront frontage.

QQ. Section 6. Frontage Standards, paragraph L.2.(f), Table 6.15 is hereby amended so that it now reads in its entirety as follows:

Table 6.15: Gallery Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (max)	A	•	•					18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Gallery, general								
Depth, min.	B	•	•			•	•	7 ft
Height, min.	C	•	•			•	•	12 ft
Encroachment	B	•	•			•	•	May encroach within public right-of-way with a right-of-way permit, provided a minimum 5-ft-wide clear pedestrian path is maintained along the public sidewalk
Span, min.		•	•					80% of façade without gaps
Columns		•	•					Required, centered on spandrel beam, constructed of round metal, diameter of between 3 and 6 in, with a base, shaft, and capital. <i>Upper story columns and railing posts shall align with columns below</i>
Column, location	B D	•	•					Min. 7 ft from façade, Min. 2 ft from curb
Gallery deck, configuration		•	•					Max 9 inches thick (including all structures and surface) and exposed
Gallery deck, location		•	•					Located above top of transom windows
Gallery, materials		•	•					Upper story railings shall be painted metal
Lighting		•	•			•	•	Where a gallery interrupts street lighting, a minimum of one-half (1/2) foot candle of lighting shall be provided within the gallery
Frontage								
Walkways								One per secondary entrance, max width 5 ft
Building foundations		•	•					Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill
						•	•	No limitations
Surfacing		•	•			•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete

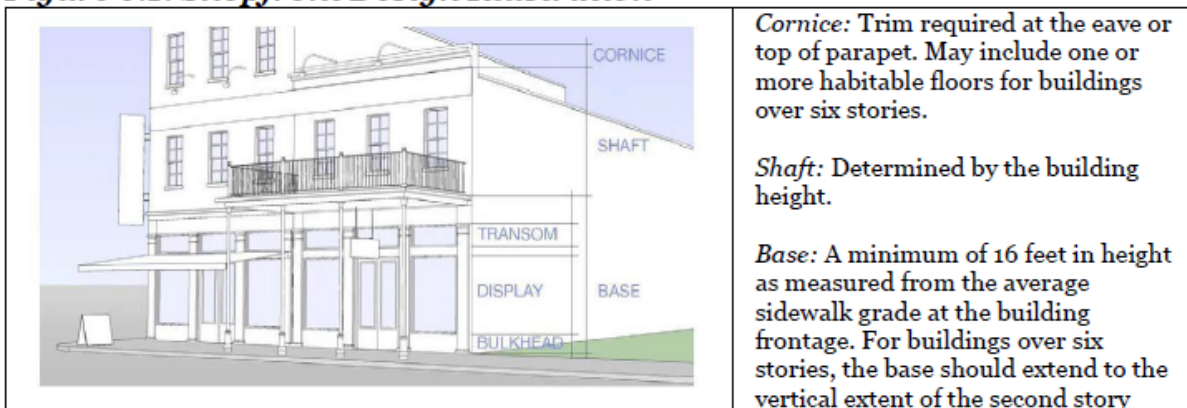
RR. Section 6. Frontage Standards, paragraph M.2.(f), Table 6.16 is hereby amended so that it now reads in its entirety as follows:

Table 6.16: Shopfront Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (max)	•	•	•				•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Shopfront, design								
Configuration		•	•	•			•	Shall be designed with a bulkhead, display window, and transom (see Figure 6.1: Shopfront Design Illustration)
Height (min)	A	•	•	•			•	16 ft (measured from grade to top of base cornice)
Bulkhead, height (min max)	B	•	•	•			•	18 in 30 in
Transom windows, configuration		•	•	•			•	Include dividing muntins and no signage
Signs		•	•	•			•	Individual storefront signs that are mounted onto the façade shall be installed above transom window
Recessed entry		•	•	•		•	•	May be recessed up to 8 ft from façade
Shopfront, Transparency, and coverage								
Transparency of shopfront area, min.		•	•	•		•	•	Min 50% along each frontage, calculated by the width of the frontage and the area between the sidewalk grade and bottom of the second floor or roof structure
Coverage, min	Primary frontage	•	•	•		•	•	80 percent of frontage length
	Secondary frontage	•	•	•		•	•	30 percent of frontage length
Awnings and canopies [1]								
Material and type	Awning	•	•	•		•	•	Fabric, fixed or movable
	Canopy	•	•	•		•	•	Fixed, metal or wood
Awnings, primary frontage, span	Ground floor	•	•	•		•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•	•	•		•	•	Shall cover only a window/door and match width of window/door
Awnings, primary frontage, projection	C	•	•	•		•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Awnings, secondary frontages		•	•	•		•	•	Permitted only over doors, max 6 feet projection
Awnings, setback		•	•	•		•	•	Set back at least 2 ft from curb
Clearance	D	•	•	•		•	•	Min 8 ft over sidewalk
Frontage								
Surfacing		•	•	•		•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete

[1] Awnings and canopies are only permitted on shopfront frontages that are not combined with other frontage types.

SS. Section 6. Frontage Standards, paragraph M.2. is hereby amended to add Figure 6.1: Shopfront Design Illustration so that it now reads in its entirety as follows:

Figure 6.1: Shopfront Design Illustration



TT. Section 7. Building Design and Material Standards, paragraph A.3. is hereby amended so that it now reads in its entirety as follows:

3. A building shall use the following exterior finish materials:
 - (a) Wood or cementitious clapboard;

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- (b) Shingles;
- (c) Board and batten;
- (d) Stucco;
- (e) Brick;
- (f) Stone; or
- (g) Alternate materials approved in accordance with Section 2.B.1(d), Administrative Deviations.

UU. Section 9. Definitions and Rules of Construction, paragraph A.2. is hereby amended so that it now reads in its entirety as follows:

2. Buildings and parking structures shall not exceed the maximum height in the applicable sub-district and location in Table 9.2: Maximum Building and Parking Structure Height, except that a parking structure that is attached to a building or buildings for at least 50 percent of the total building perimeter and 80 percent of the building perimeter along a street frontage may exceed the listed height provided it does not exceed the eave height of the attached building or buildings.

VV. Section 9. Definitions and Rules of Construction, paragraph B., definition of “Fence” is hereby amended so that it now reads in its entirety as follows:

Fence

A barrier, independent of a building, made of wood picket, wood slat, wood lattice, iron or steel or aluminum that appears to be iron. In the DDD, a fence may be of chain-link only in limited conditions alongside and rear yards and never in frontages. See “wall.” A streetscreen is not considered to be a fence for purposes of the DDD.

WW. Section 9. Definitions and Rules of Construction, paragraph B., definition of “Streetscreen” is hereby amended so that it now reads in its entirety as follows:

Streetscreen

A freestanding wall or fence/planting combination built or located along the front property line, or on the same plane with a facade for the purpose of masking views and providing a street wall. A streetscreen is not considered a fence for purposes of the DDD.

SECTION TWO:

The amendment of Appendix A, the Downtown Development District regulations set forth in the Unified Development Code, Chapter 64, shall upon adoption and publication as required by law, be effective on July 20, 2026.

The ordinance was read by the City Clerk, whereupon Councilmember Ingram moved to hold the ordinance over for one week, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the ordinance held over for one week until the regular meeting of June 16, 2026.

CONSENT RESOLUTIONS HELD OVER

ACCEPT RESIGNATIONS OF “FORMER BOARD MEMBERS” AND APPOINT CLINTON MITCHELL, THOMAS CORMIER, AND MICHAEL ALBANESE TO THE IMPROVEMENT DISTRICT OF THE CITY OF MOBILE – MCGOWIN PARK PROJECT.

The following resolution which was introduced and read at the regular meeting of May 12, 2026, and held over until the regular meetings of May 19, 2026, May 26, 2026, and June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 03-512-2026

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Sponsored by: City Council

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA APPROVING THE APOINTMENTS OF NEW DIRECTORS OF THE IMPROVEMENT DISTRICT OF THE CITY OF MOBILE – MCGOWIN PARK PROJECT

WHEREAS, The Improvement District of the City of Mobile – McGowin Park Project, a public corporation organized by the City Council (the “Council”) of the City of Mobile (the “City) under the laws of the State of Alabama (the “Improvement District”), is duly organized and existing under the provisions of Chapter 99A of Title 11 of the Code of Alabama (1975) (the “Act”); and

WHEREAS, the current Board of Directors of the Improvement District (the “Board”) are Donald Foster, Jay Kanik, and Jesse Galloway (the “Former Board Members”); and

WHEREAS, the Former Board Members tendered their resignations from the Board to the Council; and

WHEREAS, the Council desires to accept the resignations of the Former Board Members from the Board, and to appoint Michael Albanese, Thomas Cormier, and Clinton Mitchell (the “New Board Members”) to the Board, in substitution of the Former Board Members. NOW THEREFORE, BE IT RESOLVED AND ORDERED BY THE COUNCIL, as follows:

(1) That the Council hereby accepts the resignations of the Former Board Members, and they are hereby removed from the Board, relieved of all authority, rights and obligations in connection with their role on the Board, and the Council shall look to the New Board Members to act on behalf of the Improvement District.

(2) That Clinton Mitchell is hereby appointed by the Council as a member of the Board and the term of Clinton Mitchell shall begin at 12:00 a.m. CT on May 19, 2026 and shall end at 11:59 p.m. CT on May 18, 2030.

(3) That Thomas Cormier is hereby appointed by the Council as a member of the Board and the term of Thomas Cormier shall begin at 12:00 a.m. CT on May 19, 2026 and shall end at 11:59 p.m. CT on May 18, 2031.

(4) That Michael Albanese is hereby appointed by the Council as a member of the Board and the term of Michael Albanese shall begin at 12:00 a.m. CT on May 19, 2026 and shall end at 11:59 p.m. CT on May 18, 2032.

The resolution was read by the City Clerk, whereupon Councilmember Reynolds moved to hold the resolution over for one week, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution held over for one week until the regular meeting of June 16, 2026.

RESOLUTIONS HELD OVER

AUTHORIZE AGREEMENT WITH KNIGHT SIGN INDUSTRIES, INC. FOR PHASE I WAYFINDING SIGNAGE; \$120,605.00. The following resolution which was introduced and read at the regular meeting of June 2, 2026, and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 01-600-2026

Sponsored by: Mayor Cheriogotis

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BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, a contract, by and between the City of Mobile, and the company listed below; for work as outlined in the contract attached hereto and made a part hereof as set forth in full, subject to the company signing the contract and furnishing the required bonds and insurance. A copy of said executed contract will be on file in the office of the City Clerk.

Name of Company: Knight Sign Industries, Inc.
 Project Name: Phase I Wayfinding Signage 2026-2060-01
 Capital Project No.: C0930
 Contract Amount: \$120,605.00

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO SANSOM EQUIPMENT COMPANY, INC. FOR 2 TRASH TRAILERS FOR TRASH DEPARTMENT; \$98,000.00. The following resolution which was introduced and read at the regular meeting of June 2, 2026, and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 08-608-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>11134</u>	2026	(2050) FLEET MANAGEMENT - GARAGE	2 TRASH TRAILERS FOR TRASH DEPARTMENT (SEALED BID 6050)	\$98,800.00	(190715) SANSOM EQUIPMENT CO INC

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO STATE OF ALABAMA – ALABAMA CORRECTIONAL INDUSTRIES FOR BEDS, TABLES, AND PAPER SORTER FURNITURE FOR MFRD; \$60,893.00. The following resolution which was introduced

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and read at the regular meeting of June 2, 2026, and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 08-609-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>9262</u>	2026	(1510) FIRE ADMINISTRATION	12 BEDS; 5 TABLES, 3 PAPER SORTER FURNITURE FOR MFRD (ALABAMA CORRECTIONAL INDUSTRIES BID EXEMPTION)	\$60,893.00	<u>(282370) STE OF ALABAMA-ALABAMA CORRECTIONAL INDUSTRIES</u>

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO SUNBELT FIRE, INC. FOR FIRE BUNKER COATS, PANTS, HELMETS, AND BOOTS FOR MFRD; \$137,052.00. The following resolution which was introduced and read at the regular meeting of June 2, 2026, and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 08-610-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12786</u>	2026	(1510) FIRE ADMINISTRATION	27 SETS OF FIRE BUNKER COATS, PANTS, HELMETS AND BOOTS FOR MFRD (HGAC COOPERATIVE PURCHASING AGREEMENT, NOT ON STATE CONTRACT)	\$137,052.00	<u>(198904) SUNBELT FIRE INC</u>

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The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

AUTHORIZE CONTRACT WITH WHITSETT MATHISON TO PROVIDE TENNIS LESSONS FOR PARKS DEPARTMENT; NTE \$80,000.00 PER YEAR. The following resolution which was introduced and read at the regular meeting of June 2, 2026, and was held over until the regular meeting of June 9, 2026, was called up by the Presiding Officer.

RESOLUTION: 21-612-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, an Agreement with Whitsett Mathison to provide Tennis Teaching Pro for Parks and Recreation Department, compensation for work provided by the contractor will be as provided in the statement of work but in no event should not exceed \$80,000 per year as outlined in the agreement attached hereto and made a part hereof as though set forth in full. A copy of said agreement is filed in the office of the City Clerk.

BE IT FURTHER RESOLVED that the City Council finds that this resolution is necessary to perform essential minimum functions of the Council.

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

ORDINANCES BEING INTRODUCED

CONSIDER THE REZONING OF PROPERTY LOCATED AT THE EAST SIDE OF TACON STREET, NORTH OF CAMERON STREET FROM R-1 TO B-3. The following ordinance was held over until the regular meeting of June 16, 2026.

ORDINANCE: 64-026-2026

Sponsored by: Councilmember Penn

AN ORDINANCE AMENDING THE ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MOBILE ON THE 12TH DAY OF JULY, 2022, SAID ORDINANCE BEING COMMONLY KNOWN I AS. THE UNIFIED DEVELOPMENT CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE AS FOLLOWS:

Section One: That the Ordinance commonly known as the Unified Development Code and adopted on July 12, 2022, together with the Zoning Map on the City of Mobile, be, and the same hereby is amended in respect to that certain property: in the City of Mobile, State of Alabama, described as follows to-wit:

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LOT 71, TACON PLACE AS RECORDED IN DEED BOOK 116 PAGE 242, PROBATE COURT RECORDS, MOBILE COUNTY, ALABAMA.

The classification of said property is hereby changed from, Single-Family Residential Urban District (R-1), to Community Business Urban District (B-3), and it shall hereafter be lawful to construct on such property any structures permitted by the Ordinance of July 12, 2022, commonly known as the Unified Development Code and to use said premises for any use permitted by the terms of said Ordinance in a B-3, provided, however, that the plans for any structure or building sought to be erected on said property shall be in compliance with the building laws of the City of Mobile, and that any structure shall be approved by the Building Inspector of the City of Mobile, and that any such structure be erected only in compliance with such laws, including the requirements of said Unified Development Code of July 12, 2022, and further provided, however, that no lot or parcel of land herein above described shall be used for any use allowed in an B-3, until all of the condition set forth below has been complied with: 1. Full compliance with all municipal codes and ordinances.

Section Two: This Ordinance shall be in force and effect from and after its adoption and publication.

SUSPENSION OF RULES FOR IMMEDIATE CONSIDERATION OF CONSENT RESOLUTIONS BEING INTRODUCED FOR THE FIRST TIME.

Councilmember Gregory moved for the suspension of the rules to consider consent resolutions 03-614 through 60-618, being introduced for the first time. The motion was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The Presiding Officer declared unanimous consent granted for the items.

CONSENT RESOLUTIONS BEING INTRODUCED

APPOINT STEPHEN HOWLE, CART BLACKWELL, JENNIFER ROSELIUS, CAMERON PFEIFFER-TRAYLOR, KARRIE MAURING, ABBY DAVIS, AND STEVE STONE TO THE ARCHITECTURAL REVIEW BOARD. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 03-614-2026

Sponsored by: Mayor Cheriogotis

WHEREAS, Spiro Cheriogotis, Mayor, pursuant to Mobile City Code Section 44-75(c), has nominated the below named individuals to serve on the Architectural Review Board:

BE IT RESOLVED THAT THE CITY COUNCIL FOR THE CITY OF MOBILE hereby appoints the following individuals to serve on the Architectural Review Board, as follows:

- Stephen Howle effective July 24, 2026 for a 3-year term ending June 23, 2029.
- Cart Blackwell effective July 24, 2026 for a 3-year term ending June 23, 2029.
- Jennifer Roselius effective July 24, 2026 for a 3-year term ending June 23, 2029.
- Cameron Pfeiffer-Traylor effective July 24, 2026 for a 2-year term ending June 23, 2028.
- Karrie Maurin effective July 24, 2026 for a 2-year term ending June 23, 2028.
- Abby Davis effective July 24, 2026 for a 2-year term ending June 23, 2028.
- Steve Stone effective July 24, 2026 for a 1-year term ending June 23, 2027.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

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The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

AUTHORIZE THE MAYOR TO APPLY, ACCEPT, AND RECEIVE A GRANT FROM BLOOMBERG CENTER FOR PUBLIC INNOVATION AT JOHNS HOPKINS UNIVERSITY LOVE YOUR BLOCK GRANT PROGRAM; \$270,000.00 (NO LOCAL MATCH). The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 31-615-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor is authorized to apply, accept and receive from the Bloomberg Center for Public Innovation at Johns Hopkins University up to the amount of \$270,000 from the Love Your Block grant program. There is no match requirement.

BE IT FURTHER RESOLVED that the Mayor or his designee be authorized to accept said grant if offered and to sign any agreements or other documents in connection with the grant application and to provide any information required by the Bloomberg Center for Public Innovation. Any agreements for grant assistance, together with the exhibits, shall be filed with the City Clerk after award and execution.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

RECOMMEND APPROVAL TO THE ABC BOARD FOR ISSUANCE OF A RETAIL BEER/TABLE WINE (OFF PREMISES ONLY) LICENSE TO WAWA #5806; 5133 COTTAGE HILL ROAD. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 37-616-2026

Sponsored by: Councilmember Reynolds

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the following application to the Alabama Alcoholic Beverage Control Board of the State of Alabama, is hereby recommended for grant of such license by said Board.

Type of application: Retail Beer/Table Wine (Off Premises Only) License

Submitted by: Wawa Alabama, LLC

Location: Wawa #5806
5133 Cottage Hill Road
Mobile, Al 36609

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

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The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE AWARD OF SPECIAL BONUS TO THE TRAFFIC ENGINEERING EMPLOYEE OF THE MONTH; RAHMAN. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 60-617-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor, upon nomination by City Supervisors, recommends to the City Council that it authorize awards, pursuant to Section 11-40-22 Code of Alabama 1975, of \$500 to the following employee:

June 2026: Moynur Rahman (Employee # 20087) Engineering & Infrastructure: Traffic Engineering

This employee is to be commended for their exemplary work performance or innovations that significantly reduce costs or results in an outstanding improvement in service to the public.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE AWARD OF SPECIAL BONUS TO THE OFFICER OF THE MONTH; ROWELL. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 60-618-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor, upon nomination by City supervisors, recommends to the City Council that it authorize awards, pursuant to Section 11-40-22 Code of Alabama 1975, of \$500 each to the following employee:

May 2026: Matthew Rowell

The employee is to be commended for his exemplary work performance or innovations that significantly reduce costs or result in an outstanding improvement in service to the public.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

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APPOINT QUIN HILLYER TO THE MOBILE TREE COMMISSION. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 03-646-2026

Sponsored by: Councilmember Fleming

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that Quin Hillyer is appointed to the Tree Commission effective immediately.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

SUSPENSION OF RULES FOR IMMEDIATE CONSIDERATION OF CIP RESOLUTIONS BEING INTRODUCED FOR THE FIRST TIME. Councilmember Gregory moved for the suspension of the rules to consider cip resolutions 08-619 and 09-620 being introduced for the first time. The motion was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The Presiding Officer declared unanimous consent granted for the items.

CIP RESOLUTIONS BEING INTRODUCED

APPROVE PURCHASE ORDER TO SOUTH ALABAMA ELECTRIC COMPANY, INC. FOR LIGHTING SYSTEM REPLACEMENT FOR WASHINGTON SQUARE PARK FOUNTAIN; \$23,250.00. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 08-619-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12814</u>	2026	(3030) REAL ESTATE – ASSET MANAGEMENT	REPLACEMENT LIGHTING SYSTEM FOR WASHINGTON SQUARE PARK FOUNTAIN (PRICE BELOW BID REQUIREMENT)	\$23,250.00	<u>(295153) SOUTH ALABAMA ELECTRIC CO INC</u>

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

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Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

TRANSFER FUNDS FROM CAPITAL IMPROVEMENT RESERVE TO CAPITAL PROJECT CRUISE TERMINAL – EQUIPMENT & MISCELLANEOUS FOR REQUIRED BOLLARD MAINTENANCE; \$25,000.00. The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 09-620-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the sum of Twenty-five Thousand Dollars (\$25,000.00) is hereby reallocated from:

- **Capital Project #C0116**
Capital Improvement Reserve
(Capital Improvement Fund (2000))

to:

- **Capital Project #C0259**
Cruise Terminal-Equipment & Misc
(Capital Improvement Fund (2000))

Said funds shall be used for FY26 required bollard maintenance to prepare for the upcoming cruise season.

The resolution was read by the City Clerk, whereupon Councilmember Ingram moved to adopt the resolution, which was seconded by Councilmember Gregory and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

SUSPENSION OF RULES FOR IMMEDIATE CONSIDERATION OF RESOLUTIONS BEING INTRODUCED FOR THE FIRST TIME. Councilmember Gregory moved for the suspension of the rules to consider resolutions 08-622, 08-623, 08-624, 08-625, 08-626, 08-627, 08-628, 08-629, 08-631, 08-632, 08-633, 09-636, 21-639, and 21-640 being introduced for the first time. The motion was seconded by Councilmember Reynolds and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The Presiding Officer declared unanimous consent granted for the items.

RESOLUTIONS BEING INTRODUCED

AUTHORIZE SERVICE CONTRACT AGREEMENT WITH PROFESSIONAL FIRE PROTECTION SERVICES, LLC FOR INSPECTION, SERVICE, AND MAINTENANCE OF VARIOUS FIRE EXTINGUISHERS THROUGHOUT THE CITY; \$66, 717.00. The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 01-621-2026

Sponsored by: Mayor Cheriogotis

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BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, a Service Contract Agreement, by and between the City of Mobile, and the company listed below, for work as outlined in the service contract attached hereto and made a part hereof as though set forth in full. A copy of said service contract is on file in the office of the City Clerk.

Name of Company: Professional Fire Protection Services, LLC
Project Name: Service Contract – Various Location – Fire Extinguisher Inspection, Service, & Maintenance
Project Number: SC-024-26
Amount: \$21,858.00 – Year One
\$21,858.00 – Year Two
\$23,001.00 – Year Three
\$66,717.00 – Total Contract

APPROVE PURCHASE ORDER TO ALABAMA PIPE & SUPPLY, INC. FOR CONCRETE TRAFFIC BARRIERS FOR PUBLIC SERVICES; \$31,250.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-622-2026
Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>10298</u>	2026	(2086C) STREET SWEEPING ROW	50 10FT CONCRETE TRAFFIC BARRIERS FOR PUBLIC SERVICES (SEALED BID 6049))	\$31,250.00	<u>(12940)</u> <u>ALABAMA PIPE & SUPPLY INC</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO B&H PHOTO & VIDEO FOR DRONE PACKAGES FOR GULF COAST TECHNOLOGY CENTER; \$34,429.12. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-623-2026
Sponsored by: Mayor Cheriogotis

MINUTES OF JUNE 9, 2026

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12578</u>	2026	(1502) GULF COAST TECHNOLOGY CENTER	8 AUTEL EVO II 640T DRONE PACKAGES FOR TRAINING FOR GULF COAST TECHNOLOGY CENTER (OMNIA COOPERATIVE PURCHASING AGREEMENT, NOT ON STATE CONTRACT)	\$34,429.12	<u>(287473) B&H PHOTO & VIDEO</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO COMMUNICATION INTERNATIONAL, INC. FOR PORTABLE RADIOS WITH ACCESSORIES FOR EVENTS DEPARTMENT; \$26,351.88.

The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-624-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12511</u>	2026	(4010) SPECIAL EVENTS	12 L3HARRIS XL-45P PORTABLE RADIOS WITH ACCESSORIES FOR EVENTS DEPARTMENT (AL STATE CONTRACT)	\$26,351.88	<u>(297103) COMMUNICATIONS INTERNATIONAL, INC</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

MINUTES OF JUNE 9, 2026

APPROVE PURCHASE ORDER TO H F GLAUDE CONSTRUCTION FOR STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL, FALLOW ROAD TO 4407 BIRCHWOOD DRIVE E.; \$15,6970.55. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-625-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13162</u>	2026	(2070) PUBLIC SERVICES ADMINISTRATION	STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL – FALLOW ROAD TO 4407 BIRCHWOOD DRIVE EAST (PRICE BELOW BID REQUIREMENT; VENDOR ROTATION POOL)	\$15,697.55	<u>(296705) H. F. GLAUDE CONSTRUCTION</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO PRIME PROFESSIONAL CONCRETE PUMPING & FINISHING, LLC FOR STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL, LOIS DRIVE TO AIRVIEW DRIVE; \$20,400.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-626-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

MINUTES OF JUNE 9, 2026

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13272</u>	2026	(2070) PUBLIC SERVICES ADMINISTRATION	STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL – LOIS DRIVE TO AIRVIEW DRIVE (PRICE BELOW BID REQUIREMENT; VENDOR ROTATION POOL)	\$20,400.00	<u>(299670) PRIME PROFESSIONAL CONCRETE PUMPING & FINISHING LLC</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO THOMAS A. GALLOWAY FOR STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL, MARTINWOOD LANE, TO BAYFRONT ROAD; \$29,875.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-627-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13258</u>	2026	(2070) PUBLIC SERVICES ADMINISTRATION	STORM DRAINAGE VEGETATION AND DEBRIS REMOVAL – MARTINWOOD LANE TO BAYFRONT ROAD (PRICE BELOW BID REQUIREMENT; VENDOR ROTATION POOL)	\$29,875.00	<u>(300085) THOMAS A. GALLOWAY</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

MINUTES OF JUNE 9, 2026

APPROVE PURCHASE ORDER TO INLINE, LLC FOR REPAIRS TO DAMAGED MANHOLE ON WATER STREET; \$18,759.48. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-628-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12388</u>	2026	(2060) TRAFFIC ENGINEERING	REPAIRS TO DAMAGED MANHOLE ON WATER ST AT DAUPHIN ST (PRICE BELOW BID REQUIREMENT)	\$18,759.48	<u>(297660) INLINE LLC</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
 Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO NORTH AMERICAN FIRE EQUIPMENT COMPANY, INC. FOR VARIOUS SIZED FIRE HOSES FOR MFRD; \$23,056.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-629-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12787</u>	2026	(1510) FIRE ADMINISTRATION	76 VARIOUS SIZED FIRE HOSES FOR MFRD (NPPGOV COOPERATIVE PURCHASING AGREEMENT, NOT ON STATE CONTRACT)	\$23,056.00	<u>(149290) NORTH AMERICAN FIRE EQUIPMENT CO INC</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

MINUTES OF JUNE 9, 2026

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO SANSOM EQUIPMENT COMPANY, INC. FOR VACUUM SEWER CLEANER TRUCK FOR STORMWATER DEPARTMENT; \$515,174.00. The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 08-630-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>12194</u>	2026	(2050) FLEET MANAGEMENT - GARAGE	ONE VACTOR 2100I VACUUM SEWER CLEANER TRUCK FOR STORMWATER DEPARTMENT (SOURCEWELL COOPERATIVE PURCHASING AGREEMENT, NOT ON STATE CONTRACT)	\$515,174.00	<u>(190715) SANSOM EQUIPMENT CO INC</u>

APPROVE PURCHASE ORDER TO VERTIV CORPORATION FOR ANNUAL RENEWAL OF MAINTENANCE SERVICES FOR POWER SUPPLY AND COOLING SYSTEMS FOR 8080 AIRPORT BOULEVARD MUNICIPAL SERVER LOCATION FOR MIT; \$19,434.78. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-631-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

MINUTES OF JUNE 9, 2026

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13169</u>	2026	(5000) INFORMATION TECHNOLOGY	ANNUAL RENEWAL OF PREVENTATIVE MAINTENANCE SERVICES FOR LIEBERT DATA-CENTER UNINTERRUPTIBLE POWER SUPPLY AND COOLING SYSTEMS FOR MUNICIPAL SERVER AT 8080 AIRPORT BLVD FOR MIT (PRICE BELOW BID REQUIREMENT, PROFESSIONAL SERVICE)	\$19,434.78	<u>(295869) VERTIV CORPORATION</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO VERTIV CORPORATION FOR ANNUAL RENEWAL OF MAINTENANCE SERVICES FOR POWER SUPPLY AND COOLING SYSTEMS FOR WESTERN ADMINISTRATIVE COMPLEX MUNICIPAL SERVER LOCATION FOR MIT; \$20,218.43. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-632-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13170</u>	2026	(5000) INFORMATION TECHNOLOGY	ANNUAL RENEWAL OF PREVENTATIVE MAINTENANCE SERVICES FOR LIEBERT DATA-CENTER UNINTERRUPTIBLE POWER SUPPLY AND COOLING SYSTEMS FOR MUNICIPAL SERVER AT WESTERN ADMINISTRATIVE COMPLEX FOR MIT (PRICE BELOW BID REQUIREMENT, PROFESSIONAL SERVICE)	\$20,218.43	<u>(295869) VERTIV CORPORATION</u>

MINUTES OF JUNE 9, 2026

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

APPROVE PURCHASE ORDER TO VULCAN CONSTRUCTION MATERIALS, LP FOR LIMESTONE BASE FOR TRAFFIC ENGINEERING; \$31,000.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 08-633-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF MOBILE, ALABAMA, that the Purchasing Agent is authorized to execute, for and on behalf of the City of Mobile, a purchase order to the indicated vendor in the approximate amount stated, and to approve the supporting bid award if required, for the following requisition as indicated below and attached herein:

Requisition	Fiscal Year	Department	Description	Amount	Vendor
<u>13062</u>	2026	(2060) TRAFFIC ENGINEERING	500 TONS OF DELIVERED LIMESTONE TYPE B BASE FOR TRAFFIC ENGINEERING LAYDOWN YARD (SEALED BID 5943))	\$31,000.00	<u>(228600)</u> <u>VULCAN CONSTRUCTION MATERIALS LP</u>

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

RE-ALLOCATE FUNDS FROM CIP CARLISLE DITCH DRAINAGE REPAIRS TO N. MCGREGOR RECONSTRUCTION ROUNDABOUT TO SPRINGHILL AVENUE; \$220,000.00. The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 09-634-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the sum of \$220,000.00 in Capital Project #C0992 CIP Carlisle Ditch Drainage Repairs (Capital Improvement Fund 2000) be reallocated to Capital Project #C1028 N. McGregor Reconstruction Roundabout to Springhill Ave (D7) (Capital Improvement Fund 2000); said funds shall be used for road improvement.

RE-ALLOCATE FUNDS FROM CIP DISTRICT 5 CONTINGENCY TO N. MCGREGOR RECONSTRUCTION ROUNDABOUT TO SPRINGHILL AVENUE; \$106,000.00. The following resolution was held over until the regular meeting of June 16, 2026.

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RESOLUTION: 09-635-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the sum of \$106,000.00 in Capital Project# CON05 CIP District 5 Contingency Project (Capital Improvement Fund 2000) be reallocated to Capital Project #C1028 N. McGregor Reconstruction Roundabout to Springhill Ave (D7) (Capital Improvement Fund 2000); said funds shall be used for road improvement.

RE-ALLOCATE FUNDS FROM CIP DISTRICT 7 CONTINGENCY TO N. MCGREGOR RECONSTRUCTION ROUNDABOUT TO SPRINGHILL AVENUE; \$45,235.44. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 09-636-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the sum of \$45,235.44 in Capital Project #CON07 CIP District 7 Contingency Project (Capital Improvement Fund 2000) be reallocated to Capital Project C1028 N. McGregor Reconstruction Roundabout to Springhill Ave (D7) (Capital Improvement Fund 2000); said funds shall be used for road improvement.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

AUTHORIZE CHANGE ORDER NO. 1 WITH VOLKERT, INC. FOR DOWNTOWN STREET OPTIMIZATION, RESURFACING & RESTRIPIING; \$360,188.17 (INCREASE).

The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 13-637-2026

Sponsored by: Mayor Cheriogotis

WHEREAS, the City entered into a contract dated August 5, 2025, with Volkert, Inc. for engineering construction inspection services on the project known as Downtown Street Optimization (Resurfacing & Restriping), City of Mobile Project No. 2025-3005-19; and

WHEREAS, the Contract amount for the engineering construction inspection services was based on fee negotiations for the original scope of services between the City of Mobile and Volkert, Inc; and whereas, the current original contract amount totals \$280,163.54; and

WHEREAS, at the time the contract was entered into, it was estimated that engineering construction inspection services would be for the project duration of 150 calendar days; and

WHEREAS, during the bidding process, the project duration was extended to 150 working days, thereby requiring additional inspection services; and

WHEREAS, additional scope was added to the project thereby increasing the engineering design and engineering construction inspection services costs by \$360,188.17, for a total of \$640,351.71; and

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NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Council does hereby authorize the additional fee of \$360,188.17, for a total of \$640,351.71, to be paid to Volkert, Inc. for engineering services on the Downtown Street Optimization (Resurfacing & Restriping) Project.

AUTHORIZE CONTRACT WITH CHRISTOPHER RATLEDGE FOR RACQUET STRINGER SERVICES FOR PARKS AND RECREATION DEPARTMENT; NTE \$80,000.00 PER YEAR. The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 21-638-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, an Agreement with Christopher Ratledge to provide racquet stringer services for Parks and Recreation Department, compensation for work provided by the contractor will be as provided in the statement of work but in no event shall exceed \$80,000 per year as outlined in the agreement attached hereto and made a part hereof as though set forth in full. A copy of said agreement is on file in the office of the City Clerk.

BE IT FURTHER RESOLVED that the City Council finds that this resolution is necessary to perform essential minimum functions of the Council.

AUTHORIZE CONTRACT WITH STEARNS, CONRAD, AND SCHMIDT CONSULTING ENGINEERING FOR CHARM FEASIBILITY STUDY FOR HARD RECYCLABLE MATERIALS; \$35,500.00. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 21-639-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, a Professional Services Contract, by and between the City of Mobile and the company listed below, for work as outlined in contract attached hereto and made a part hereof as set forth in full, subject to the company signing the contract. A copy of said executed contract will be on file in the office of the City Clerk.

Name of Company: Stearns, Conrad, and Schmidt Consulting Engineers, Inc.

Not to exceed cost: \$35,500.00

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

AUTHORIZE CONTRACT WITH T-MOBILE USA, FOR WIRELESS CELLULAR SERVICES. The following resolution was introduced by Councilmember Gregory.

RESOLUTION: 21-640-2026

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Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor and the City Clerk be, and they hereby are, authorized and directed to execute and attest, respectively, for and on behalf of the City of Mobile, a Professional Services Contract, by and between the City of Mobile and the company listed below, for work as outlined in contract attached hereto and made a part hereof as set forth in full, subject to the company signing the contract. A copy of said executed contract will be on file in the office of the City Clerk.

The resolution was read by the City Clerk, whereupon Councilmember Gregory moved to adopt the resolution, which was seconded by Councilmember Woods and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory

Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the resolution adopted.

AUTHORIZE THE MAYOR TO APPLY, ACCEPT, AND RECEIVE A GRANT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FY25 ASSISTANCE TO FIREFIGHTERS GRANT PROGRAM; \$1,121,767.00 (\$112,176.00 MATCH). The following resolution was held over until the regular meeting of June 16, 2026.

RESOLUTION: 31-641-2026

Sponsored by: Mayor Cheriogotis

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the Mayor is authorized to apply, accept and receive from the Department of Homeland Security (DHS), Federal Emergency Management Agency (FEMA) grant assistance in the amount of \$1,121,767.00 in support of the FY25 Assistance to Firefighters (AFG) grant program.

BE IT FURTHER RESOLVED that the Mayor or his designee be authorized to accept said grant if offered and to sign any agreements or other documents in connection with the grant application and to provide any information required by the Department of Homeland Security. Any agreements for grant assistance, together with the exhibits, shall be filed with the City Clerk after award and execution.

BE IT FURTHER RESOLVED that the Council authorizes the transfer of 10% matching funds in the amount of \$112,176.00 from the MFRD General Fund operating budget to the G-OGMMATCH grant match holding account in the event this grant is received in full.

CALL FOR PUBLIC HEARINGS

CALL FOR PUBLIC HEARING FOR THE PROPOSED DENIAL OF THE REZONING REQUEST FOR PROPERTY LOCATED AT 5101 MOFFETT ROAD FROM B-2 TO B-3 (SCHEDULED FOR JULY 14, 2026) (DISTRICT 7). The following resolution was introduced by Councilmember Woods.

RESOLUTION: 41-642-2026

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the City Clerk be, and she hereby is, instructed to publish in a newspaper of general circulation within the municipality the attached notice stating the time and place a proposed amendment to the Zoning Ordinance is to be considered by the City Council and further stating that at such time and place all persons who desire shall have an opportunity of being heard in opposition to or in favor of the proposed amendment.

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Notice of Public Hearing for the Proposed **DENIAL** of a Rezoning for Property Located at 5101 Moffett Road

Pursuant to Resolution of the Mobile, Alabama City Council adopted June 9, 2026, a public hearing will be held on the **14th day of July, 2026, at 10:30 a.m.**, to consider adoption of an ordinance for the proposed rezoning for property located at 5101 Moffett Road from B-2, Neighborhood Business Suburban District, to B-3, Community Business Suburban District.

The public hearing will be held in the Auditorium of Government Plaza, 205 Government Street, Mobile, Alabama. All persons who desire shall have an opportunity to be heard in favor of or in opposition to the proposed amendment at such time and place. Further, the City Council may consider zoning classifications other than the ones sought by the applicant and may take other actions allowed by law.

AN ORDINANCE AMENDING THE ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MOBILE ON THE 12TH DAY OF JULY, 2022, SAID ORDINANCE BEING COMMONLY KNOWN AS THE UNIFIED DEVELOPMENT CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE AS FOLLOWS:

Section One: That the Ordinance commonly known as the Unified Development Code and adopted on July 12, 2022, together with the Zoning Map of the City of Mobile, be, and the same hereby is amended in respect to that certain property in the City of Mobile, State of Alabama, described as follows to-wit:

THAT PORTION OF LOT "C" OF MANDRELL'S SUBDIVISION AS SHOWN BY PLAT RECORDED IN MAP BOOK 3, PAGE 253, PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, AND THENCE RUN NORTH 129 FEET, MORE OR LESS TO THE SOUTH RIGHT OF WAY LINE OF THE MOFFAT ROAD, THENCE RUN NORTH 87 DEGREES 17 MINUTES WEST ALONG THE SOUTH RIGHT OF WAY OF SAID MOFFAT ROAD 659 FEET TO A POINT, MARKED BY AN IRON PIPE, FOR THE POINT OF SAID BEGINNING; THENCE RUNNING SOUTH 182.5 FEET TO AN IRON PIPE ON THE NORTH RIGHT OF WAY LINE OF THE OVERLOOK ROAD (FORMERLY OLD MOFFAT ROAD) THENCE WEST ALONG THE SAID NORTH RIGHT OF WAY LINE OF THE OVERLOOK ROAD FOR A DISTANCE OF 222 FEET TO AN IRON PIPE, WHICH IRON PIPE IS 30 FEET DISTANT NORTH FROM THE CENTER LINE OF THE SAID OVERLOOK ROAD, THENCE RUN NORTHWARDLY 195 FEET TO AN IRON PIPE, WHICH IS LOCATED ON THE SOUTH SIDE OF THE RIGHT OF WAY OF MOFFAT ROAD, THENCE RUN SOUTH 7 DEGREES 17 MINUTES EAST 222 FEET ALONG THE SOUTH SIDE OF THE RIGHT OF WAY OF MOFFAT ROAD TO THE POINT OF BEGINNING.

LESS AND EXCEPT, HOWEVER, THE WESTERN 60 FEET OF THE ABOVE PROPERTY HERETOFORE CONVEYED BY DRIVE-IN REALTY, INC. TO C.D. GLAZE, MAY 29, 1962, AND RECORDED IN REAL PROPERTY BOOK 339, PAGE 639, OF THE PROBATE COUNTY RECORDS OF MOBILE COUNTY, ALABAMA. LESS AND EXCEPT EASEMENT AS CONDEMNED FOR THE WIDENING OF MOFFAT ROAD RIGHT-OF-WAY.

The classification of said property is hereby changed from Neighborhood Business Suburban District (B-2) and Community Business Suburban Urban District (B-3), to Buffer Business Urban District (B-1), and it shall hereafter be lawful to construct on such property any structures permitted by the Ordinance of July 12, 2022, commonly known as the Unified Development Code and to use said premises for any use permitted by the terms of said Ordinance in a B-3, provided, however, that the plans for any structure or building sought to be erected on said property shall be in compliance with the building laws of the City of Mobile, and that any structure shall be approved by the Building Inspector of the City of Mobile, and that any such structure be erected only in compliance with such laws, including the requirements of said Unified Development Code of July 12, 2022, and further provided, however, that no lot or parcel of land herein above described shall be used for

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any use allowed in an B-3, until all of the conditions have been complied with: 1. Full compliance with all municipal codes and ordinances

Section Two: This Ordinance shall be in force and effect from and after its adoption and publication.

Councilmember Woods moved to call for the public hearing, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Penn, Ingram, Small, Reynolds, Fleming, Woods, and Gregory

Nays: None

This vote was then announced by the City Clerk, whereupon the Presiding Officer set the date for the public hearing as July 14, 2026.

CALL FOR PUBLIC HEARING TO CONSIDER THE PROPOSED REZONING FOR PROPERTY LOCATED AT 2609 AND 2654 SPRING HILL AVENUE, 152, 157, 159 MOBILE STREET, AND 144 HYLAND AVENUE FROM R-1 AND B-3 TO B-1 (SCHEDULED FOR JULY 14, 2026) (DISTRICT1). The following resolution was introduced by Councilmember Ingram.

RESOLUTION: 41-643-2026

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the City Clerk be, and she hereby is, instructed to publish in a newspaper of general circulation within the municipality the attached notice stating the time and place a proposed amendment to the Zoning Ordinance is to be considered by the City Council and further stating that at such time and place all persons who desire shall have an opportunity of being heard in opposition to or in favor of the proposed amendment.

Notice of Public Hearing for the Proposes Rezoning for Property Located at 2609 and 2651 Spring Hill Avenue, 152, 157, 158, and 159 Mobile Street, and 144 Hyland Avenue

Pursuant to Resolution of the Mobile, Alabama City Council adopted on June 9, 2026, a public hearing will be held on the **14th day of July, 2026 at 10:30 a.m.**, to consider adoption of an ordinance for the proposed rezoning for property located at 2609 and 2651 Spring Hill Avenue, 152, 157, 158, and 159 Mobile Street, and 144 Hyland Avenue from R-1, Single-Family Residential Urban District, and B-3 Community Business Suburban District, to B-1, Buffer Business Urban District.

AN ORDINANCE AMENDING THE ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MOBILE ON THE 12TH DAY OF JULY, 2022, SAID ORDINANCE BEING COMMONLY KNOWN AS THE UNIFIED DEVELOPMENT CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE AS FOLLOWS:

Section One: That the Ordinance commonly known as the Unified Development Code and adopted on July 12, 2022, together with the Zoning Map of the City of Mobile, be, and the same hereby is amended in respect to that certain property in the City of Mobile, State of Alabama, described as follows to-wit:

LOT 1

BEGINNING AT AN IRON PIN FOUND AT THE NORTHWEST CORNER OF LOT 1, DUMAS WESLEY WEST 1ST ADDITION, AS RECORDED IN MAP BOOK 84, PAGE 89, IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA, RUN THENCE NORTH 08°27'21" EAST, 209.85 FEET TO AN IRON PIN; THENCE RUN SOUTH 83°24'18" EAST, 144.50 FEET TO AN IRON PIN ON THE WEST RIGHT-OF-WAY LINE OF MOBILE AVENUE; THENCE RUN SOUTH 05°33'38" WEST, ALONG SAID WEST RIGHT-OF-WAY LINE, 197.80 FEET TO AN "X" CHISLED IN CONCRETE; THENCE RUN NORTH 87°48'39" WEST, ALONG THE NORTH LINE OF LOT 1 OF SAID

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DUMAS WESLEY WEST 1ST ADDITION, 155.35 FEET TO THE POINT-OF-BEGINNING. TRACT CONTAINS 0.70 ACRES, MORE OR LESS.

LOT 2

BEGINNING AT AN IRON PIN FOUND AT THE NORTHWEST CORNER OF DUMAS WESLEY EAST SUBDIVISION, AS RECORDED IN MAP BOOK 84, PAGE 90, IN THE OFFICE OF THE JUDGE OF PROBATE MOBILE COUNTY, ALABAMA, RUN THENCE NORTH 06°01'37" EAST, ALONG THE EAST RIGHT-OF-WAY LINE OF MOBILE STREET, 241.30 FEET TO AN IRON PIN; THENCE RUN SOUTH 68°07'27" EAST, 150.65 FEET TO AN IRON PIN; THENCE RUN NORTH 05°22'54" EAST, 204.70 FEET TO A CRIMP TOP IRON PIPE ON THE SOUTH RIGHT-OF-WAY LINE OF SPRINGHILL AVENUE; THENCE RUN SOUTH 64°37'55;" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID SPRINGHILL AVENUE, 219.05 FEET TO AN "X" CHISLED IN CONCERTE WALKWAY AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAYLINE OF SAID SPRINGHILL AVENUE AND THE WEST RIGHT OF-WAY LINE OF HYLAND AVENUE; THENCE RUN SOUTH 05°33'57" WEST, ALONG THE WEST RIGHT-OFWAY LINE OF SAID HYLAND AVENUE, 273.00 FEET TO A CRIMP TOP IRON PIPE AT THE NORTHEAST CORNER OF LOT 7 OF HYLAND PLACE AS RECORDED IN DEED BOOK 111, PAGE 1; THENCE RUN NORTH 84°24'42" WEST, ALONG THE NORTH LINE OF SAID LOT 7 OF HYLAND PLACE, 204.95 FEET TO A CRIMP TOP IRON PIPE AT THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN SOUTH 05°31 '07" WEST, ALONG THE WEST LINE OF LOTS 7, 8 AND 9 OF SAID HYLAND PLACE, 56.75 FEET TO AN IRON PIN AT THE NORTHEAST CORNER OF LOT 1 OF SAID DUMAS WESLEY EAST SUBDIVISION; THENCE RUN NORTH 84°21'04" WEST, ALONG THE NORTH LINE OF LOT 1 OF SAID DUMAS WESLEY EAST SUBDIVISION, 147.05 FEET TO THE POINT-OF BEGINNING. TRACT CONTAINS 2.20 ACRES, MORE OR LESS.

LOT 3

BEGINNING AT AN IRON PIN AT THE NORTHWEST CORNER OF LOT 81 OF HYLAND PLACE SUBDIVISION, AS RECORDED IN DEED BOOK 111, PAGE 1, IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA, RUN THENCE NORTH 05°46'48" EAST, ALONG THE EAST RIGHT-OF-WAY LINE OF HYLAND AVENUE, 66.50 FEET TO A CRIMP TOP IRON PIPE; THENCE RUN NORTH 05°33'37" EAST, CONTINUING ALONG THE EAST RIGHT-OF-WAY LINE OF SAID HYLAND AVENUE, 213.90 FEET TO A CRIMP TOP IRON PIPE ON THE SOUTH RIGHT-OF-WAY LINE OF SPRINGHILL AVENUE; THENCE RUN SOUTH 64°35'06" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID SPRINGHILL AVENUE, 205.95 FEET TO AN IRON PIN; THENCE RUN SOUTH 04°05'18" WEST, 204.65 FEET TO AN OPEN TOP IRON PIPE AT THE NORTHEAST CORNER OF SAID LOT 81 OF HYLAND PLACE SUBDIVISION; THENCE RUN NORTH 86°07'44" WEST, ALONG THE NORTH LINE OF SAID LOT 81, 199.35 FEET TO THE POINT-OF-BEGINNING. TRACT CONTAINS 1.09 ACRES, MORE OR LESS.

The classification of said property is hereby changed from Single-Family Residential Urban District (R-1) and Community Business Urban District (B-3), to Buffer Business Urban District (B-1), and it shall hereafter be lawful to construct on such property any structures permitted by the Ordinance of July 12, 2022, commonly known as the Unified Development Code and to use said premises for any use permitted by the terms of said Ordinance in a B-1, provided, however, that the plans for any structure or building sought to be erected on said property shall be in compliance with the building laws of the City of Mobile, and that any structure shall be approved by the Building Inspector of the City of Mobile, and that any such structure be erected only in compliance with such laws, including the requirements of said Unified Development Code of July 12, 2022, and further provided, however, that no lot or parcel of land herein above described shall be used for any use allowed in an B-1, until all of the conditions have been complied with: 1. Completion of the Subdivision process; 2. Full compliance with all municipal codes and ordinances.

Section Two: This Ordinance shall be in force and effect from and after its adoption and publication.

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Councilmember Woods moved to call for the public hearing, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Penn, Ingram, Small, Reynolds, Fleming, Woods, and Gregory
Nays: None

This vote was then announced by the City Clerk, whereupon the Presiding Officer set the date for the public hearing as July 14, 2026.

CALL FOR PUBLIC HEARING TO CONSIDER THE REZONING OF PROPERTY LOCATED AT 4630, 4700, AND 4960 DAUPHIN ISLAND PARKWAY FROM B-3 TO B-3 TO REMOVE A PREVIOUS CONDITION OF THE REZONING (SCHEDULED FOR JULY 14, 2026) (DISTRICT 3). The following resolution was introduced by Councilmember Woods.

RESOLUTION: 41-644-2026

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the City Clerk be, and she hereby is, instructed to publish in a newspaper of general circulation within the municipality the attached notice stating the time and place a proposed amendment to the Zoning Ordinance is to be considered by the City Council and further stating that at such time and place all persons who desire shall have an opportunity of being heard in opposition to or in favor of the proposed amendment.

Notice of Public Hearing for the Proposed Rezoning for Property Located at 4630, 4700, and 4960 Dauphin Island Parkway

Pursuant to Resolution of the Mobile, Alabama City Council adopted June 9, 2026, a public hearing will be held on the **14th day of July, 2026, at 10:30 a.m.** to consider adoption of an ordinance for the proposed rezoning for property located at 4630, 4700, and 4960 Dauphin Island Parkway B-3, B-3, Community Business Suburban District, to B-3, Community Business Suburban District, to remove a previous condition of the rezoning approval limiting development of the site to a Planned Unit Development.

The public hearing will be held in the Auditorium of Government Plaza, 205 Government Street, Mobile, Alabama. All persons who desire shall have an opportunity to be heard in favor of or in opposition to the proposed amendment at such time and place. Further, the City Council may consider zoning classifications other than the ones sought by the applicant and may take other actions allowed by law.

AN ORDINANCE AMENDING THE ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MOBILE ON THE 12TH DAY OF JULY, 2022, SAID ORDINANCE BEING COMMONLY KNOWN AS THE UNIFIED DEVELOPMENT CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE AS FOLLOWS:

Section One: That the Ordinance commonly known as the Unified Development Code and adopted on July 12, 2022, together with the Zoning Map of the City of Mobile, be, and the same hereby is amended in respect to that certain property in the City of Mobile, State of Alabama, described as follows to-wit:

LOT 1, DOCKSIDE MARINA SUBDIVISION, AS RECORDED IN MAP BOOK 130, PAGE 83, PROBATE COURT RECORDS, MOBILE COUNTY, ALABAMA.

TOGETHER WITH:

BEGINNING AT THE NORTHEAST CORNER OF LOT 1, DOCKSIDE MARINA SUBDIVISION, AS RECORDED IN MAP BOOK 130, PAGE 83, PROBATE COURT RECORDS, MOBILE COUNTY, ALABAMA, RUN NORTH 77°-05'-58" WEST AND ALONG SAID LOT 1, A DISTANCE OF 1356.62 FEET TO A POINT HEREAFTER REFERRED TO AS POINT "A"; THENCE CONTINUE NORTH 77°-05'-58" WEST AND ALONG SAID LOT 1, 5- FEET MORE OR LESS TO THE EAST BANK OF PERCH

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CREEK; THENCE NORTHWARDLY AND EASTWARDLY ALONG THE MEANDERS OF SAID CREEK, 400 FEET MORE OR LESS; THENCE SOUTH 76°-59'-46" EAST, 3 FEET MORE OR LESS TO A POINT HEREAFTER REFERRED TO AS POINT "B" (MATHEMATICAL TIE BETWEEN POINT "A" AND "B" IS NORTH 10°-17'-56" EAST, 373.47 FEET); THENCE CONTINUE SOUTH 76°-59'-46" EAST, 1102.90 FEET; THENCE SOUTH 21°-46'-27" EAST, 69.72 FEET; THENCE SOUTH 77°-01'-44" EAST, 392.21 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF DAUPHIN ISLAND PARKWAY (125' RIGHT-OF-WAY); THENCE SOUTH 14°-06'-45" WEST AND ALONG SAID WEST RIGHT-OF-WAY, 298.73 FEET TO THE P.C. OF A 101,668.28. FOOT RADIUS CURVE TO THE RIGHT; THENCE SOUTHWARDLY AND WESTWARDLY ALONG THE ARC OF SAID CURVE (CHORD BEARS SOUTH 15°-23' -12" WEST, 16.74 FEET) A DISTANCE OF 16.78 FEET TO THE POINT OF BEGGINING.

The classification of said property is hereby changed from Community Business Suburban District (B-3) to Community Business Suburban District (B-3), and it shall hereafter be lawful to construct on such property any structures permitted by the Ordinance of July 12, 2022, commonly known as the Unified Development Code and to use said premises for any use permitted by the terms of said Ordinance in a B-3, provided, however, that the plans for any structure or building sought to be erected on said property shall be in compliance with the building laws of the City of Mobile, and that any structure shall be approved by the Building Inspector of the City of Mobile, and that any such structure be erected only in compliance with such laws, including the requirements of said Unified Development Code of July 12, 2022, and further provided, however, that no lot or parcel of land herein above described shall be used for any use allowed in an B-3, until all of the conditions have been complied with: 1. Completion of the Subdivision process; 2. Compliance with all Engineering, Traffic Engineering, Urban Forestry, and Fire Department comments noted in the staff report; and, 3. Full compliance with all municipal codes and ordinances.

Section Two: This Ordinance shall be in force and effect from and after its adoption and publication.

Councilmember Woods moved to call for the public hearing, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Penn, Ingram, Small, Reynolds, Fleming, Woods, and Gregory
Nays: None

This vote was then announced by the City Clerk, whereupon the Presiding Officer set the date for the public hearing as July 14, 2026.

CALL FOR PUBLIC HEARING TO CONSIDER THE REZONING OF PROPERTY LOCATED AT 5361 MOFFETT ROAD FROM R-1 TO B-3 (SCHEDULED FOR JULY 14, 2026) (DISTRICT 7). The following resolution was introduced by Councilmember Woods.

RESOLUTION: 41-645-2026

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the City Clerk be, and she hereby is, instructed to publish in a newspaper of general circulation within the municipality the attached notice stating the time and place a proposed amendment to the Zoning Ordinance is to be considered by the City Council and further stating that at such time and place all persons who desire shall have an opportunity of being heard in opposition to or in favor of the proposed amendment.

Notice of Public Hearing for the Proposed Rezoning for Property Located at 5361 Moffett Road

Pursuant to Resolution of the Mobile, Alabama City Council adopted June 9, 2026, a public hearing will be held on the **14th day of July, 2026, at 10:30 a.m.**, to consider adoption of an ordinance for the proposed rezoning for property located at 5361 Moffett Road from R-1, Single- Family Residential Urban District, to B-3, Community Business Suburban District.

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The public hearing will be held in the Auditorium of Government Plaza, 205 Government Street, Mobile, Alabama. All persons who desire shall have an opportunity to be heard in favor of or in opposition to the proposed amendment at such time and place. Further, the City Council may consider zoning classifications other than the ones sought by the applicant and may take other actions allowed by law.

AN ORDINANCE AMENDING THE ORDINANCE ADOPTED BY THE CITY COUNCIL OF THE CITY OF MOBILE ON THE 12TH DAY OF JULY, 2022, SAID ORDINANCE BEING COMMONLY KNOWN AS THE UNIFIED DEVELOPMENT CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE AS FOLLOWS:

Section One: That the Ordinance commonly known as the Unified Development Code and adopted on July 12, 2022, together with the Zoning Map of the City of Mobile, be, and the same hereby is amended in respect to that certain property in the City of Mobile, State of Alabama, described as follows to-wit:

LOTS A, B, C, D, E, O, P AND Q, OF A SUBDIVISION IN THE SOUTH 1/2 OF SECTION THREE (3), TOWNSHIP FOUR (4) SOUTH, RANGE TWO (2) WEST, MOBILE COUNTY, ALABAMA, AND FURTHER RECORDED AS PER MAP IN DEED BOOK 156NS PAGE 125.

The classification of said property is hereby changed from Single-Family Residential Suburban District (R-1), to Community Business Suburban District (B-3), and it shall hereafter be lawful to construct on such property any structures permitted by the Ordinance of July 12, 2022, commonly known as the Unified Development Code and to use said premises for any use permitted by the terms of said Ordinance in a B-3, provided, however, that the plans for any structure or building sought to be erected on said property shall be in compliance with the building laws of the City of Mobile, and that any structure shall be approved by the Building Inspector of the City of Mobile, and that any such structure be erected only in compliance with such laws, including the requirements of said Unified Development Code of July 12, 2022, and further provided, however, that no lot or parcel of land herein above described shall be used for any use allowed in an B-3, until all of the conditions set forth below have been complied with: 1. Provision of a 20-foot-wide residential protection buffer in compliance with the standards of Article 3, Section 64-3-8.A.2. of the Unified Development Code; 2. Denial of vehicular access to Sawada Drive; and 3. Full compliance with all municipal codes and ordinances.

Section Two: This Ordinance shall be in force and effect from and after its adoption and publication.

Councilmember Woods moved to call for the public hearing, which was seconded by Councilmember Ingram and the vote was as follows:

Ayes: Penn, Ingram, Small, Reynolds, Fleming, Woods, and Gregory
Nays: None

This vote was then announced by the City Clerk, whereupon the Presiding Officer set the date for the public hearing as July 14, 2026.

ANNOUNCEMENTS

Councilmember Ingram stated that an Economic, Cultural, & Civic Development committee meeting will be held on Tuesday, June 9, 2026, at 1:00 p.m.

Councilmember Ingram announced that the Strikers Club, Inc. will be hosting a free men's health fair on Saturday, June 13, 2026, from 9:00 a.m. – 2:00 p.m. at 110 Springhill Avenue.

Councilmember Ingram announced that the Mobile County Health Department Family Health and Fox 10 news will be hosting a free men's outreach on Thursday, June 25, 2026.

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Councilmember Reynolds gave comments about citizens' complaints about Window Depot/All Weather Roofing.

Councilmember Reynolds congratulated former Councilmember John Williams on being ordained as a deacon in the Catholic Church.

Councilmember Penn recognized Tammy Makou, Miss. Teen Juneteenth of America 2026, in attendance today.

Councilmember Penn announced that a District 1 community meeting will be held at Kiwanis Boys and Girls Club on Tuesday, June 16, 2026 at 6:00 p.m.

Councilmember Penn gave comments regarding the Supreme Court's ruling to permit Alabama to use 2023 Republican-drawn congressional maps in the 2026 elections.

Councilmember Penn announced that a community meeting will be held at the Toulminville-Warren Street UMC Church on Monday, June 15, 2026 at 6:30 p.m.

Councilmember Gregory gave updates on the street repairs at Magnolia Grove Parkway. Councilmember Greogry announced that the Back 2 School rally will be held at the Mobile Museum of Art on Thursday, July 30, 2026.

Councilmember Small stated that a District 3 community clean-up will be held on Saturday, June 27, 2026, from 7:30 a.m. – 11:30 a.m. at Rock of Faith Missionary Baptist Church.

Councilmember Small announced the following community meetings:

Oakdale Community Action Group, tonight at 5:00 p.m. at Smalls Mortuary.

Riverside Community Action Group, tonight at 6:00 p.m. at the First Precinct on Dauphin Island Parkway.

Councilmember Small recognized Tammy Makou, Miss. Teen Juneteenth of America 2026, in attendance today.

Councilmember Reynolds moved to adjourn the meeting, which was seconded by Councilmember Fleming and the vote was as follows:

Ayes: Small, Penn, Ingram, Reynolds, Fleming, Woods, and Gregory
Nays: None

The vote was then announced by the City Clerk, whereupon the Presiding Officer declared the regular meeting adjourned at approximately 11:34 a.m.

Adopted:

COUNCIL PRESIDENT

CITY CLERK